



THE ASBURY CHURCH

Community Engagement Report and Reuse Recommendations



MIDDLEBURG
EST VIRGINIA 1787

December 2024

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The Asbury Church Community Engagement Report and Reuse Recommendations

Acknowledgments

The Asbury Church Community Engagement Services Report is the product of a collaborative effort among the Town of Middleburg staff and elected officials, community stakeholders, and related organizations and individuals. The project included a series of outreach efforts and events facilitated by Commonwealth Preservation Group (CPG; “consultants”); the outcome is an array of recommendations related to the future restoration and reuse of the Asbury Church. Commonwealth Preservation Group (CPG) was selected as the project consultant through a competitive procurement process.

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Executive Summary

The Asbury Church Community Engagement Services project was initiated by the Town of Middleburg in February of 2024. Through a competitive selection process, Commonwealth Preservation Group (CPG; “consultants”) was hired by the Town of Middleburg in June of 2024 to conduct public engagement and building analysis to identify the potential use(s) for the restored the Asbury Church. The public engagement effort included stakeholder interviews, a community wide survey, and public meetings. The building analysis was comprised of an on-site review of existing conditions and constraints, as well as a preliminary review of current regulations such as building code and zoning constraints. All building treatment recommendations included in the report were prepared with best practices as understood within the professional preservation community and as outlined in National Park Service guidance, specifically *The Secretary of the Interior’s Standards for the Treatment of Historic Properties: Rehabilitation as a Treatment and Standards for Rehabilitation*.

Key Takeaways

1. Incorporation of the history of the Asbury Church.
2. Reuse that meets community needs.
3. Information sharing and education.
4. Retention of important physical features.

Reuse Options

1. Interpretive Site
2. Small Gathering Space
3. Assembly Space

This report is the culmination of the effort described above, and includes reuse recommendations which are informed directly from the engagement and analysis.



Town of Middleburg, Virginia Tourism Corporation



West and South Elevations, CPG, July 2024

Introduction

Project Overview

The Asbury Church was gifted to the Town of Middleburg in December 2014. The Town previously issued a Request for Interest (RFI) in June 2019 and December 2020 for the sale and adaptive reuse of the building; however, after reviewing various responses to the RFI, the Town Council voted to retain the property, allocate funding to restore the Asbury Church, and identify future uses deemed appropriate by the Town Council with input from the community. Since deciding to retain ownership of the building, the Town has invested in a structural analysis and initial stabilization work.



North Elevation Windows Detail, CPG, July 2024

The building is a contributing resource to the Middleburg Historic District, and has been determined individually eligible for listing on the Virginia Landmarks Register by the State Review Board in December of 2022, under Criteria A for its association with African American Heritage and Civil Rights, C for its architecture, and Criteria Consideration A for religious properties.

The Town Council will ultimately determine the appropriate reuse of the building and will be responsible for funding the project, but will do so after considering the consultant recommendations which represent the outcome of public engagement and development of recommended preservation treatment best practices. Regardless of the reuse plan, the Historic District Review Committee (HDRC) will review any exterior changes to the building for appropriateness.

Methodology

At the start of the project, there was a virtual kick off meeting with the consultants and Town staff to ensure the scope, schedule, and deliverables were clear to all parties. Once the kickoff was complete, planning for public engagement began, including a two-day site visit, which included documentation of the building and stakeholder interviews. The baseline information gathered during the initial visit to Middleburg informed the wider community outreach plan. Several strategies were utilized to maximize public involvement; a summary of these strategies and the overall engagement process can be found on [page 16](#).

Fieldwork and Documentation

Consultant staff visited the site on July 17th, 2024 with Town of Middleburg and Loudoun County staff. During the site visit the building was documented in photographs and with a digital scanner. An existing conditions floor plan of the building was prepared from the scan and was used to key photographs; the plan and photos are included for reference in [Appendix C](#).



The digital scan is a platform that created a 3D replica hosted online of the physical spaces in the building. The platform provides interactive virtual tours that can be used for a variety of purposes; in this case, it provided a “digital twin” of the building to allow the community a means to experience the Asbury Church during the engagement process. It also serves as a permanent record of the condition and remaining historic physical features of the building on the date of recording.

The fieldwork documentation was used to inform the building conditions description and analysis provided in Chapter 6.

Community Engagement

In addition to fieldwork, there was a multi-phase community engagement effort, which included several different methods of public outreach utilized to reach as many members of the community as possible. This multi-tiered approach allowed key stakeholders, including former church members and their family members, preservationists and heritage site experts, neighborhood residents, and town staff, and members of the general public to have a voice in the project. The three primary methods of engagement used included:

1. Stakeholder Interviews

The consultants conducted small group stakeholder interviews. In total, 18 neighborhood residents, former church members, preservationists and heritage site experts, and town staff were interviewed during the Summer of 2024 to gain initial insights into the current understanding of the building, priorities, and non-starters for its reuse. These interviews were used to identify points of sensitivity and areas of focus for the remainder of the engagement process.

2. Public Input Survey

Utilizing the input received during stakeholder interviews, the consultants prepared a public survey. The public input survey ran from July 26, 2024 to September 15, 2024. The survey was posted online and hard copies were available at Town Hall. Town staff also mailed one paper copy to each household in Middleburg, and the Friends of Asbury Church shared the survey with former congregants and their descendants. A total of 85 individuals, or 12 percent of the total Middleburg population, responded to the survey (including both online and hardcopy responses).¹ The results of this public input survey provided the consultant team with raw data which enabled us to better understand the opinions and ideas heard during the more targeted stakeholder interviews.

3. Community Meeting

Toward the end of the public survey period, the Town hosted a public input meeting. Approximately thirty-three people attended the meeting, which was hosted at Town Hall on September 11, 2024. The meeting included an opportunity for the public to view the interior of the building via the digital scan, there was a presentation of findings to date by the consultant team, and opportunities to provide input regarding preferred reuse options and those to avoid. The timing of the meeting was designed to enable the community to learn more from the consultants about the findings to date, gain a better understanding of the capacity and condition of the building, and provide input in a public forum prior to the conclusion of the online survey.



Middleburg Community Meeting, CPG, September 2024

By allowing for input in a variety of ways, and providing access to information in different formats, the Town hopes that all community members found a means of contributing their ideas for the betterment of the project. For more information on the community engagement portion of the project, a detailed summary and analysis is provided on [page 15](#).

¹. Population of the Town of Middleburg is 669 based upon US Census Bureau data from the 2020 Decennial Census. See: https://data.census.gov/profile/Middleburg_town,_Virginia?g=160XX00US5151448 (accessed 25 October 2024).

Identification and Analysis of Potential Reuses

Criteria and Framework

In response to community input and constraints presented by the site, building code, and building capacity, the project team identified the following reuse criteria:

1. **Identify a long-term use(s).**
2. **Design renovations to accommodate multiple uses.**
3. **Ensure public access to the building.**
4. **Identify a use appropriate for the size, available space, and original use.**

With the preceding framework in mind, the project team determined that the following potential reuses are the most appropriate of the options presented during the community engagement period. Each of these reuse options meets the reuse criteria established by the Town at the start of the project and responds to the priorities voiced by the range of stakeholders represented in the community. The uses below allow the building to retain its historic character-defining features while meeting an existing void in the community:



Window Detail, CPG,
July 2024

Interpretive Site

Small Gathering Space

Assembly Space

Each of the identified potential reuse options are summarized on the following pages. By creating a use that fills a void within the community, the Town would ensure that the building is used and continuously occupied. The analysis includes an examination of the pros and cons and the opportunities and constraints of each use as conveyed by the public, and identifies any physical limitations or special considerations associated with each use option so that Town Council can make a fully informed decision on the best option for the future of the Asbury Church. It is worth noting that all three of the potential options are flexible in their spatial programming and so could easily meet reuse criteria 2 above.

Potential Reuse Option 1

Interpretive Site

While less than a quarter of survey respondents had a direct connection to the Asbury Church, one of the most suggested reuse options provided by both stakeholders and the community at large was to utilize the building as an interpretive site. There were varying ideas about the type of site, interpretation format, and frequency of use.

Some of the most discussed options included:

- 1. An interpretive site focused on the history of the Asbury Church and its congregants.**
- 2. An interpretive site telling the story of the African American community and its impact on Middleburg.**
- 3. An interpretive site about the history of Middleburg (some indicated County history should also be included).**

There were multiple community groups that contributed during the public engagement process; many of these groups possess specific knowledge, unique perspectives, and memorabilia that would contribute to interpretive programming for each of the options listed above. Access to this type of tangible community memorabilia is rare; this would require capacity to organize staff responsible for managing these cultural community assets.

An interpretive site function that enables different groups to share the history of Middleburg through their own lens could be successful in meeting the community's goals for the space.

While this was a popular suggestion amongst respondents,

the market may be oversaturated with museums given the existence of the Middleburg Museum, National Sporting Library & Museum, Masters of Foxhounds Museum, and Museum of Hunting & Hounds.

While from a content perspective, the Middleburg Museum is the most closely related to the ideas proposed for the Asbury Church, being aware of the contents and audience of the existing local museums will be helpful in setting the Asbury Church programming apart from existing facilities, and creating a unique experience for residents and visitors alike.

There is also a risk that staffing an interpretive site would be challenging (if volunteer-based) or costly (if paid).

Furthermore, without careful planning, the visitorship necessary to support an interpretive site function might overwhelm the residential character of the surrounding neighborhood.

Within the community, there is a pervasive concern about parking with a lack of immediate options to address parking beyond on-street spaces and, possibly, one ADA space on site.

From the standpoint of building constraints, the interpretive site function is the most easily implemented.

The interpretive program would inform an accurate and sensitive building restoration, the zoning and code requirements would be met relatively easily, and, assuming that visitorship is managed at an appropriate level, parking could be limited to one ADA space and on-street parking.

From an operations perspective, interpretive site use will rely heavily on outside funding for ongoing maintenance and operations.

Interpretive displays or signage could also be easily incorporated into the other reuse options to supplement or enhance the programming.

Potential Reuse Option 2

Small Gathering Space / Flexible Use

A Small Gathering Space use would result in more regular use, but in lower numbers; this use would likely require fewer physical interventions to the building to meet code- and life-safety requirements.

Depending on the capacity limits imposed by the building code official or the Town, full ADA accessibility to all areas of the building may not be required. Specific activities that could be included under this use are:

1. **Bible study**
2. **Book club**
3. **Educational Resources, such as Tutoring and Student Groups**
4. **Spiritual Gathering Space or Meditation Center**
5. **Small Meeting Space/ Event Space (Capacity limited or capped to ensure compliance)**

To set this reuse apart from the Assembly Space option, the Small Gathering Space use could have a limited or capped capacity to ensure compliance with building code requirements tied to occupancy

This would allow less restrictive requirements that would result in major interventions to the building,

such as the need to be fully ADA accessible.

This would also limit noise and parking issues for the adjacent residential neighborhood

since the gatherings would typically be smaller in attendance and shorter in duration.

Interpretive programming could be scheduled regularly through this use to ensure that the history of the Asbury Church is being honored. At a minimum, educational displays could be placed in or around the building to convey the full history of the building and the community, as deemed critical for the project's success by stakeholders and the public. Alternatively, more robust rotating programming could also be utilized to allow different cultural and historic groups to plan and implement exhibits at the Asbury

Church and spotlight their organization. These could rotate on a monthly or quarterly basis, and could be another way to bring new people into the space. This could be accomplished in any of the reuse options and addresses the community vision for interpretation and gives multiple voices to the story.

From an operational standpoint, there are several ways this use could function similarly to the Assembly Space in terms of rentals. The rental of the building would need to be managed. An online booking system could be utilized to manage reservations for the space. Low-cost options for small events would fill a void in the community, while bringing in necessary revenue for building maintenance. In order to keep the Asbury Church as an affordable event option for the community, funding will be necessary for ongoing maintenance and operations.

Some of the activities may require additional services or accommodations, such as Internet access. A successful model would allow for enough flexibility within the space to accommodate multiple users, with regularly scheduled activities on a daily or weekly basis. Utilizing a membership or timeshare model for organizations that meet regularly throughout the year could provide a way to ensure regular income over the year, as well as consistent and continued use, to supplement one-time events. A Smart Lock system could be utilized to eliminate the need for on-site staff. Nominal rental fees for the space could be put towards on-going building maintenance. In order to keep the Asbury Church as an affordable option for the community, substantial funding will be necessary for ongoing maintenance and operations.

Potential Reuse Option 3

Assembly Space

Converting the building to an assembly space would closely relate to its historic church use.

The building could be available to rent for small events and special occasions, or the Town could organize programming for the building, such as a lecture series or other public events. Specific activities included under this use could include:

- Church services
- Weddings
- Funerals
- Cinema/theater/concert/performance space
- Lecture or Speaker Series
- Small conferences

While this use was identified as appropriate, it has high barriers for successful implementation.

The activities listed above could be at odds with stakeholder and community feedback that indicated after-hours events should be avoided out of respect for the adjacent residential neighborhood. Their use should be dependent on established hours of operation and parking availability. As outlined in the community engagement summary, there was a strong preference for events to be held during the day, when on-street parking and associated event noise would not disrupt the adjacent residents.

Consider setting parameters around Assembly Space uses that fall outside of the reuse criteria defined at the start of the project.

While the events held at the Asbury Church under this use would be less frequent, the overall impact would be more significant, as an Assembly Space use would likely come with the most stringent requirements for code-compliance. This will ultimately depend on the determined capacity for the building, with a higher capacity bringing with it requirements for more physical interventions into the space.

These would primarily be driven by life-safety needs that are ultimately dictated by the building code, such as fire suppression and ADA accessibility. Specific physical interventions, such as the insertion of an elevator to provide access to the balcony as well as fire suppression needs were viewed negatively by the Town and stakeholders during interviews and discussions for their impact to the historic character of the church. Additionally, physical building constraints would limit the number of services available for use for larger events, such as the lack of space for a kitchen and limited bathrooms.

Furthermore, the Assembly use would require significant parking and there is no opportunity to provide for off-street parking proximate to the Asbury Church.

Based on the square footage of the first floor only, the maximum occupancy for an assembly space utilizing chairs only is 174 people.² The parking demands of an assembly use would violate the resounding public request to select a use that limits impact to the residential character of the neighborhood and to ensure adequate parking is provided.

Interpretive programming could be a regularly scheduled event through this use to ensure that the history of the Asbury Church is being honored. At a minimum, educational displays could be placed in or around the building to convey the full history of the building and the community, as deemed critical for the project's success by stakeholders and the public. Alternatively, more robust rotating programming could also be utilized to allow different cultural and historic groups to plan and implement exhibits at the Asbury Church and spotlight their organization. These could rotate on a monthly or quarterly basis. This arrangement could be another way to bring new people into the space. This could be accomplished in any of the reuse options and addresses the community vision for interpretation and gives multiple voices to the story.

From an operational standpoint, the rental of the building would need to be managed. An online booking system could be utilized to manage reservations for the space.

Low-cost options for small events would fill a void in the community, while bringing in necessary revenue for building maintenance and event staffing.

In order to keep the Asbury Church as an affordable event option for the community, funding will be necessary for ongoing maintenance and operations.

² Occupant load calculation assumes 7 net square feet per person for a concentrated assembly use. See: <https://www.ltfpermits.com/occupantload> (accessed 28 October 2024).

Community Engagement Summary

As a result of this project, there were several different methods of public outreach utilized to reach as many members of the community as possible and allow them to have a voice in the project. These opportunities for engagement consisted of stakeholder interviews, a public input survey, and a public meeting. This multi-phase approach allowed the consultants to learn from the community and thus deliver a product with recommendations that reflect community needs and goals.



The following section of the report summarizes the results of the public engagement efforts that were utilized by the consultant team to identify appropriate reuse options for the Asbury Church. This section also highlights the key findings across the community engagement, which were critical to selecting reuse options.

Methodology

Following the stakeholder interviews and close of the public input survey, the consultants analyzed input that resulted in commonly cited limitations and key goals. Community and stakeholder feedback also allowed certain uses to be eliminated that are incompatible with the common vision and/or practicalities. This community feedback has directly influenced the recommendations for reuse provided in Chapter 2.

Stakeholder interview responses were initially analyzed to help inform the development of the public input survey. Responses were generally categorized by question or topic to understand stakeholder feedback. While some questions were asked to all stakeholder groups, other questions were tailored to each group that was interviewed (e.g., church members, heritage sites, etc.). Some interviewees also did not provide responses to every question, and other interviewees provided feedback to multiple topics under one question. Due to these factors, analyzing the responses by topic, rather than strictly by question, allowed a clearer understanding of the viewpoints of different themes across each group.

Responses to the public input survey were also analyzed upon the survey's closure. These responses were analyzed by question. Once the hardcopy surveys were received, those responses were entered by the consultants, verbatim, into the online version of the survey to allow for a consistent analysis across the survey. For write in questions, answers were reviewed and categorized into themes or topics to help identify trends across the responses. Due to a discrepancy between the online survey and the hardcopy survey, Question 6 was a single-select answer question online and a multi-select answer question in the hardcopy version. This discrepancy was taken into account and the two questions were analyzed together to determine how many times each answer choice was selected. Some participants in the online survey chose to select "other" and indicate multiple answer choices and these were accounted for in their appropriate locations in the analysis.

Limitations for Reuse

Among the most cited limitations that any reuse of the Asbury Church should consider were lack of **parking**, **noise concerns**, and **impacts to adjacent residential areas**. During stakeholder interviews, parking was by far the most mentioned concern, coming up seven times in twelve, or 58 percent of the responses relating to concerns. Parking was ranked the fourth highest concern among survey participants, following inconsistent future maintenance and accurate interpretation of the history and people associated with the Asbury Church over time. In addition to adding parking as a primary concern when asked specifically, survey participants also mentioned parking under general thoughts as an ongoing problem for Middleburg generally, but specific to the Asbury Church as well. Noise and impacts to the adjacent residential neighborhood were also high-ranking concerns for stakeholders and survey participants, and several write-in responses illustrate that the community sees both as a serious limitation to consider for future reuse of the property. The most common write-in responses to the question about concerns related to the Asbury Church reuse had to do with its location in a residential area, consideration of compatibility with its location, and primary day-time uses (that avoid excess noise and traffic during evening hours). General write-in responses at the end of the survey also capture the importance of retaining the "quiet residential community" and "much-loved residential area," and avoiding "evening open hours or events." Because of the strong response that any reuse should respect the existing location and neighboring residential area, the recommendations were focused on those reuses that would be most compatible with the community's concerns. When asked specifically what uses might be inappropriate, community members again commonly cited loud activities/events (5 responses), special events, parties or weddings that may generate noise and traffic during evening house (7 responses), and uses that require considerable parking (4 responses).

Stakeholder concerns for the future of the Asbury Church

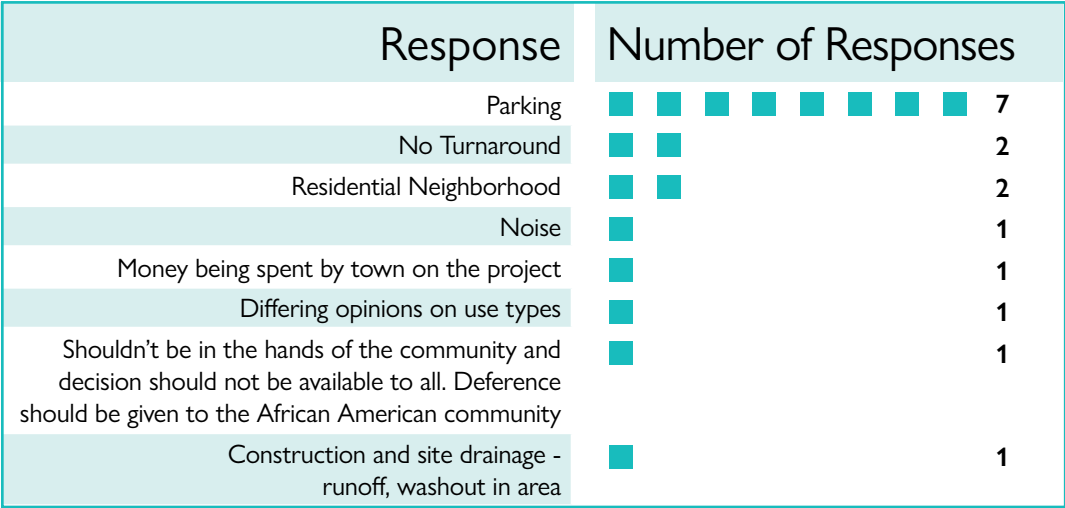


Figure 1: Graph shows stakeholder responses regarding concerns for future reuse of the Asbury Church.



Community concerns for the future of the Asbury Church

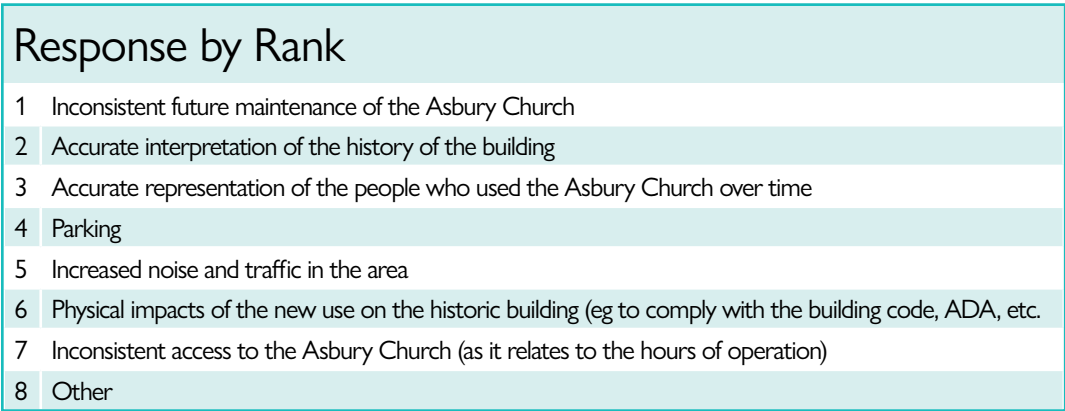
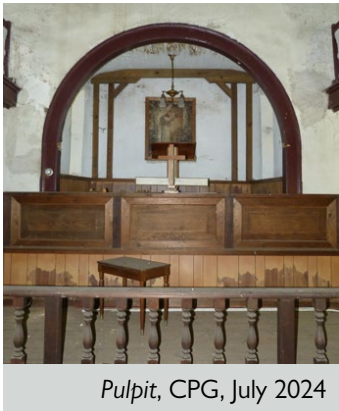


Figure 2: Public Input Survey Response regarding the community's concerns related to the future reuse of the Asbury Church



Other limitations which were cited by stakeholders and survey participants are related to **building code requirements, zoning limitations, and accessibility**. While not explicitly mentioned as a limitation, occupancy limits will be a factor in determining what is required to meet life-safety requirements as dictated by the building code. For practical reasons, both stakeholders and the community acknowledged a need to bring the building into compliance with modern building codes, and to add necessary features such as restrooms and ADA accessibility. Those interviewed shared that this would likely be of high concern among local elected officials. Modern building code compliance would also improve some functions necessary for reuse of the building, however, community members and stakeholders also cite the need to preserve certain physical aspects of the building. Therefore, where historic designation offers exemptions or exceptions to certain standards, these should be employed to protect the

elements that are considered character-defining or most important to the community (see figure 7). Occupancy limitations are defined by the building code, but also relates to the community's general concern to reduce impact on the residential neighborhood. Both factors are important for determining the building's reuse and related occupancy. Similarly, ADA accessibility requirements are defined by modern standards. Because of the building's age, it would require introduction of new accessibility features such as parking spaces, ramps or elevators, and curbing. While there may be flexibility in how these accessibility features are introduced given the building's historic designation, the community input survey responses demonstrate that this is an important element to the decision about the type of use selected. Finally, while local zoning code limits the use of a property, tools such as special use permits exist to create space for compatible, but not expressly allowed uses. Stakeholders reported that local elected officials are committed to making necessary zoning changes to accommodate an agreed upon use, while a special use permit could accommodate uses compatible with the primarily residential setting.

Key Takeaways

Identifying key goals and considerations for the reuse of the Asbury Church was an important outcome for the stakeholder interviews and public input survey. Consensus emerged among stakeholders and survey respondents around four goal areas for future reuse:

- 1. Incorporation of the history of the Asbury Church.**
- 2. Reuse that meets community needs.**
- 3. Information sharing and education.**
- 4. Retention of important physical features.**

Specific feedback related to each of the key takeaways is summarized and analyzed below to further support the proposed reuse options.

Incorporating History

Overall, most stakeholders and community members communicated that it is important for any reuse to incorporate historical interpretation, however, there were a variety of responses regarding the level of interpretation and what to include in the interpretation. Most stakeholders emphasized the importance of “telling the full story” with a focus on African American history in Middleburg. Others also emphasized the importance of telling the history of the church specifically. A smaller minority of stakeholders were interested in interpretation of Loudon County or Middleburg history more broadly. Survey respondents were asked more specifically “How closely should the new use relate to the history of the Asbury Church?” Approximately 93 percent of respondents indicated that the new use should have some relationship with the history of the building; 56 percent

wanted to see the church's history highlighted in some way, but not necessarily central to the new use, while 37 percent thought the new use should be directly connected to the history of the church. Survey respondents were also asked to offer input on what history is incorporated into the new use. Approximately 51 percent reported that historical interpretation should connect the history of the Asbury Church to its larger context, 25 percent thought the history should focus specifically on the Asbury Church, and 24 percent preferred to see the space tell the larger story of the Town of Middleburg.

5	Very important priority to relate history of church to new use
5	African American community
4	Church history - unscrubbed
2	Tell the whole story; all untold stories
1	Include highlights within the building - cemetery research, physical artifacts, stories)
1	Lectures
1	Activities
1	History of Loudon County
1	Model after AAHA in The Plains
1	Heritage Farm Museum as a model
1	Holistic preservation of building, stories, community

Figure 3: Stakeholder responses regarding the importance of incorporating the Asbury Church history into the new use.

How closely should the new use relate to the history of the Asbury Church?

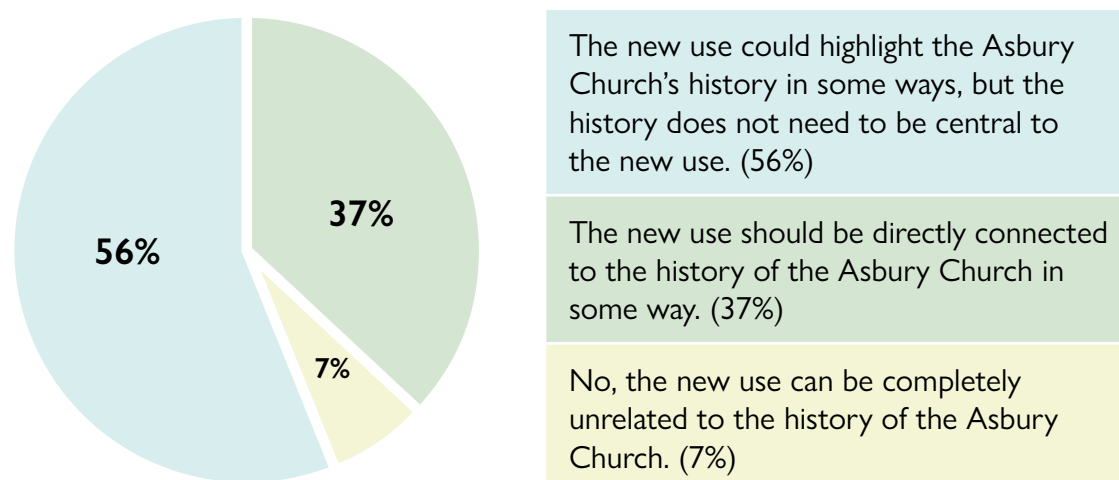


Figure 4: Public Input Survey responses regarding incorporation of history into new use

The history that is highlighted or discussed in the building, should be...

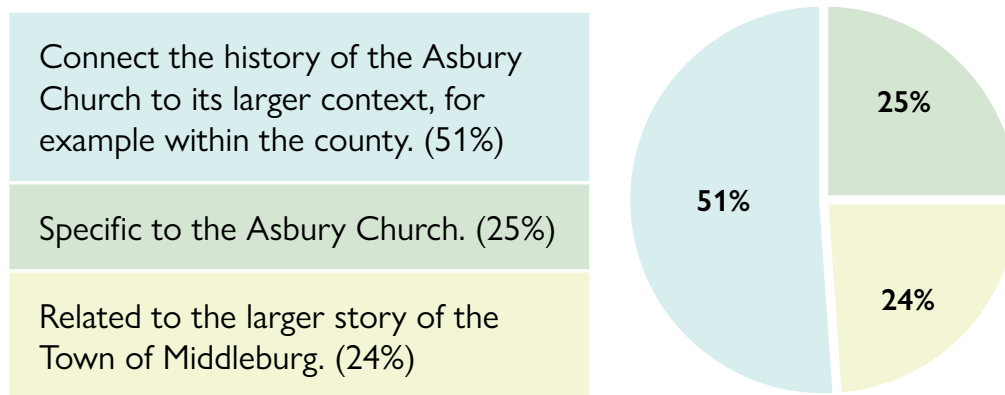


Figure 5: Public Input Survey responses regarding incorporation of history into new use

Meeting Community Needs

Another common goal for the future reuse of the Asbury Church among stakeholders and survey respondents is to find a use that meets the larger community's needs. The most cited inappropriate uses among stakeholders were: private permanent uses, residential, and commercial. These uses all involve private ownership and/or operation, which would limit public access to the church in the future. Survey respondents stated that a commercial use (including restaurants, bars, and retail), residential use, and office space were the most inappropriate for the Asbury Church. While commercial use was also considered to have the potential to negatively impact the neighboring residential neighborhood, similar to stakeholders the uses identified by survey respondents indicate a desire to avoid private ownership or personal uses. When asked the opposite question about their vision or appropriate reuses of the Asbury Church, stakeholders and community members indicated a desire to see the building used as a community gathering space or for educational purposes. This indicates the public and Town are in alignment on the plan for public ownership/access.

Would you support the use of Town taxpayer's dollars for the operation and maintenance of future use(s) in the Asbury Church or should it be fully self-supporting through fees or other forms of revenue?

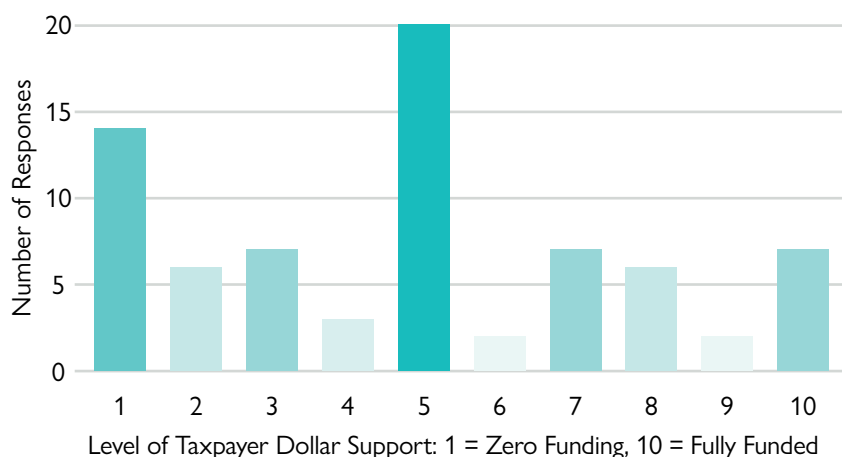
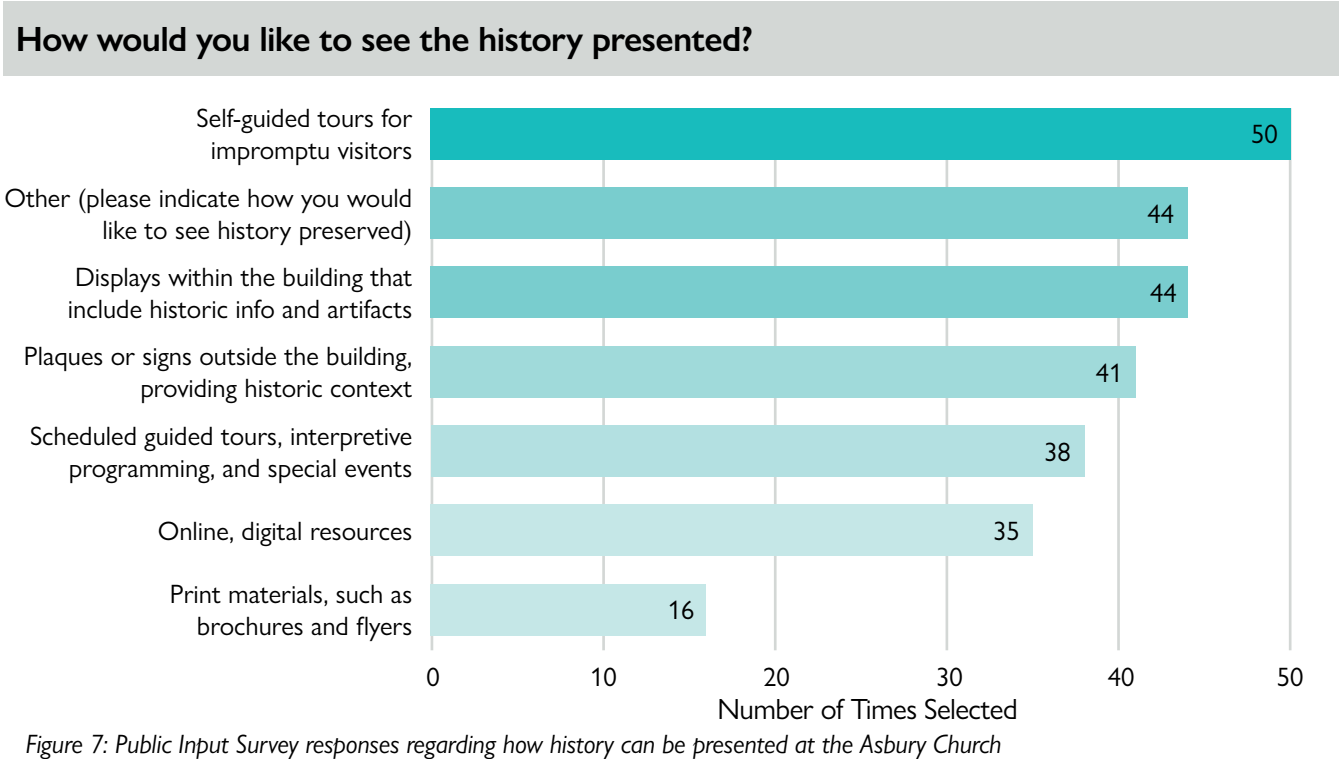


Figure 6: Public Input Survey responses regarding taxpayer dollar support level

In addition to expressing an overall desire to see the Asbury Church reused for community purposes, stakeholders and community members were also asked how community funding should be used to support the future use of the building. While survey respondents were somewhat divided on this, there was some consensus that the future reuse should support at least some of its operating expenses, rather than being entirely funded by taxpayers.

Information Sharing and Education

As mentioned above, one of the most expressed appropriate reuses of the Asbury Church is for educational or information-sharing purposes. Many considered telling the history of the Asbury Church, the African American community in Middleburg, or Middleburg history generally as integral to any reuse of the building. Stakeholders and respondents offered several different options for educational components of a future reuse from the creation of a museum to plaques or signage outside the building interpreting its history. Other educational and information sharing options that the community recommended include: tours, lectures, or special programs, print materials and flyers, and digital resources.



Retention of Important Physical Features

In order to understand the physical building elements and site features that the community considers most character-defining and important to preserve, stakeholders and survey respondents were asked specifically which features should be retained. While the level of specificity and features ranged widely among stakeholders, the Bell, Balcony, and Pews were most frequently mentioned. Survey respondents were able to select from a specified list all of those elements they wanted to preserve. For these community members, the Bell Tower ranked highest with 76 responses, while the stained-glass windows followed closely with 72 responses. These responses can help identify the most important elements of the building to consider in future architectural designs for the reuse.





Second Floor Windows, CPG, July 2024

What elements of the physical building do you think are critical to retain during the course of renovation?

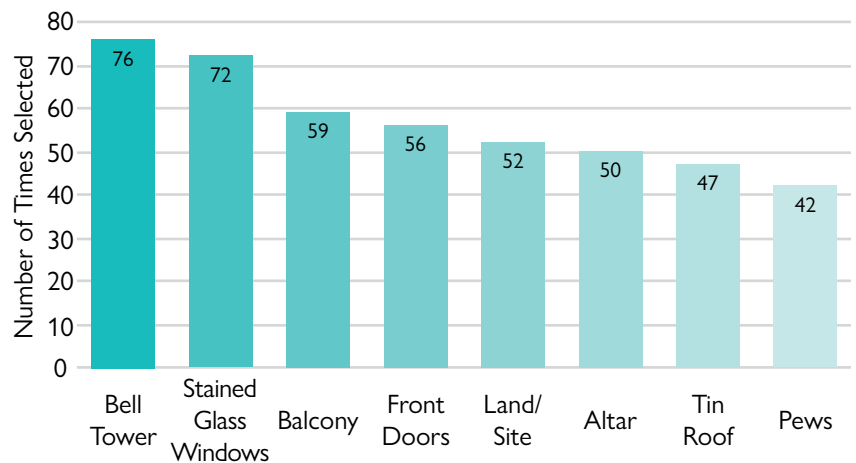


Figure 8: Public Input Survey responses regarding building elements to preserve

Eliminated Uses

Several use categories were eliminated from consideration at the start of the project due to Town feedback from past experiences with the Asbury Church and logistics of the building and site. These include:

- Overlapping uses are those which are already provided in Town. The new use should fill a void existing in the community, rather than create a redundancy or competition for an existing business.
- Physically infeasible uses, such as those that require extensive interventions that would result in significant impacts to the historic building (addressed in detail in Chapter 4).
- Town non-starters, include private uses and uses proposed in the previous RFI cycle and deemed inappropriate at that time.
- Inappropriate uses as defined by the community.

Upon determining that the Town would retain ownership of the building, reuse options that resulted in the building being converted to private use were eliminated from consideration, such as conversion of the church to a single-family residence. In addition to eliminating public access to the building, extensive physical modifications to the building would be necessary to accommodate this use. Similarly, any uses that require extensive parking or exterior modifications to the building were also eliminated from consideration due to the desire to retain the integrity of the historic building. Overall, feedback from stakeholders and the community at large further supported the previously eliminated uses.

Community engagement efforts specifically sought to understand what uses might be inappropriate for Asbury Church. Stakeholders and public input survey respondents identified permanent private uses, residential, and commercial as the most inappropriate for the future of Asbury Church. These were reported as either inappropriate for the adjacent neighborhood or because they would remove the property from public access. Other inappropriate uses identified are those which would generate considerable noise and/or require significant parking. Town officials have also expressed that it would be difficult to approve additional parking due to zoning as well as site conditions such as existing water runoff challenges. Town officials mentioned that elected leaders are likely to approve a zoning change to support reuse; however, a use compatible with the existing and surrounding zoning is preferred.

Inappropriate uses and number of responses

Commercial	36	Uses requiring spotlights or unshielded outdoor lights	2
Restaurant/ Bar	13	Athletic/ Recreation Center	3
Retail	13	Brothel	1
Residential (Single Family, Apartments, AirBnB)	8	Burlesque	1
Office Space	8	Meeting Space for AA or other Rehabilitation Services	1
Venue - Special Events, Private Events/Parties, Weddings, Business Events	7	Non-Profit Business	1
Loud Activities/ Events	5	Evening Events	1
For-Profit Activities/ Businesses	4	Demolition	1
Museum; Middleburg Museum	4	Hotel	1
Secular Events; Uses without reverence for the church; Uses contradictory to church history	4	TBD	1
Farmer's Market / Flea Market	3	Storage	1
Uses requiring a lot of parking or daily parking	4	Data Center	1
Large Gatherings/ Events	3	Day Care	1
Uses that result in change to the building/site	2	Library	1
Conference Center	2	Activities unrelated to museum's focus	1
Non-public uses; Unshared, In-active Space	2	Museum-only	1
Church/ Place of Worship	2	Young people without supervision	1
Political	2		

Figure 9: Public Input Survey responses regarding inappropriate uses. Responses were write-in.

Based on the received feedback, residential, commercial or office space, and restaurant, bar, or nightclub uses were eliminated in the analysis and recommendations:

- **Residential:** This use was specifically identified by both stakeholders and public input survey respondents as an inappropriate use for Asbury Church. In assessing other community concerns, residential use would both take the building out of public access and would also have the potential to negatively impact the physical architectural features that are important to the community.
- **Commercial or Office:** This is another use specifically mentioned by stakeholders and public input survey respondents as inappropriate for Asbury Church. Commercial or retail use could generate traffic, parking issues, and disruption to the neighborhood with unpredictable hours. While an office use would generally limit activity in the evening hours, it would likely take the property out of public access and could create traffic or parking concerns in the neighborhood.
- **Restaurant, Bar, and/or Nightclub:** While these uses are a subset of a potential commercial use, the community focused special attention on these categories of commercial use as they typically generate most of their business, traffic, and parking needs in the evening hours and have the potential to cause disruption to the residential neighborhood.

Building Treatment Analysis

Introduction and Overview

The Asbury Church was constructed c.1829 and is the oldest standing church in Middleburg, as well as the oldest African American church in Loudoun County, making it a significant resource for both the Town and the County.

Originally constructed by the White Methodist congregation in Middleburg, the church was abandoned by the congregation in 1857, stripped of its furnishings and interior finishes, leaving it vacant during the Civil War. During this time, it was utilized as a hospital and morgue.

The church has played a significant role in the Middleburg African American community since the 1860s, when the church was turned over to the Black Methodist Episcopal Congregation. In 1865, the congregation began holding services there and utilized the building as a community school. In the 1880s, the congregation raised funds to restore the interior of the church, and eventually bought a parcel across the street and constructed a parsonage, which remains in place today.

The church operated in this way, providing both religious and educational services to the community, until 1994. Since this time, the building has been largely abandoned, resulting in deferred maintenance and deterioration due to neglect.

The building is a contributing resource to the Middleburg Historic District, and has been determined individually eligible for listing on the Virginia Landmarks Register by the DHR Board in December of 2022, under Criteria A for its association with African American Heritage and Civil Rights, C for its architecture, and Criteria Consideration A for religious properties.

Architectural Conditions Assessment and Recommendations

Overview and Site

The Asbury Church is located at 105 N. Jay Street in Middleburg, Virginia. The two-story, three-bay rectangular stone building is Vernacular in style and features a front-gable roof and a partial basement. The building is situated on the east side of the street, which dead ends at a private residential development. There is no off-street parking associated with the building and limited on-street parking is available. There are two parcels associated with the building: one on which the building sits, as well as the one to the north, which is an undeveloped L-shaped parcel that wraps from the north to east elevation of the church parcel. The two parcels were consolidated in 2022. The site around the building is grassy and relatively flat at the west and north elevations, but slopes dramatically to the southeast. The current site and its slope are not accommodating of parking beyond, potentially, a single ADA space. Remaining parking will need to be accommodated on-street, thus limiting reuse.

Exterior

Roof: The building features a front-gable standing seam metal roof. The existing roof is a modern in-kind replacement of the historic roof, which was installed during stabilization work in 2018. Modern unfinished half-round gutters and round downspouts have been installed to assist with on-site drainage. The existing roof, gutters, and downspouts are all in excellent condition.



Roof Detail, West and South Elevations, CPG, July 2024

Situated towards the west end of the ridgeline is a hipped-roof square belfry, which historically housed the church bell. The belfry currently features wood siding and louvered openings. The bell itself has since been removed and is currently on display in the Town Hall. The belfry is a character-defining feature of the building and should be retained and restored during any future rehabilitation projects.

Exterior Walls: The building is constructed of locally-sourced stacked stone. The exterior of the building has been finished with stucco, which is in fair to poor condition, with evidence of a hard-coat parge on the exterior, likely installed in modern times to repair cracks in the traditional stucco coat. Areas of the historic stucco finish have become detached from the building and are bulging, but remain encased in the modern hard-coat parge, which is bowing but has not yet completely buckled. Some areas of the exterior hard-coat and historic smooth finish coat have been removed, leaving the underlying historic scratch coat visible, particularly around openings and where previous repairs have been made. Any future repairs to the stucco should follow guidance provided in the National Park Service's (NPS) *Preservation Brief No. 22, The Preservation and Repair of Historic Stucco*.



North and West Elevations, CPG, July 2024



South Elevation, CPG, July 2024

There is staining around the base of the building due to splash back from the ground, deterioration of the stucco coat adjacent to downspouts. There is also active vegetative growth on the south elevation, as well as evidence of non-extant vegetative growth that has since been removed on the north and east elevations. This has accelerated deterioration of the stucco in these areas.

In addition to debonding of the stucco exterior, the building also features several large cracks that are structural, rather than aesthetic. Two of these are located at the southeast corner of the building and appear to run through the stucco coat to the exterior walls themselves. This could be due to settlement of the building over time, to structural deficiencies in the exterior walls, or a combination of the two. Any structural engineer hired to examine the building should have experience with traditional construction methods and historic materials to ensure any solution developed does not do more harm to the building.



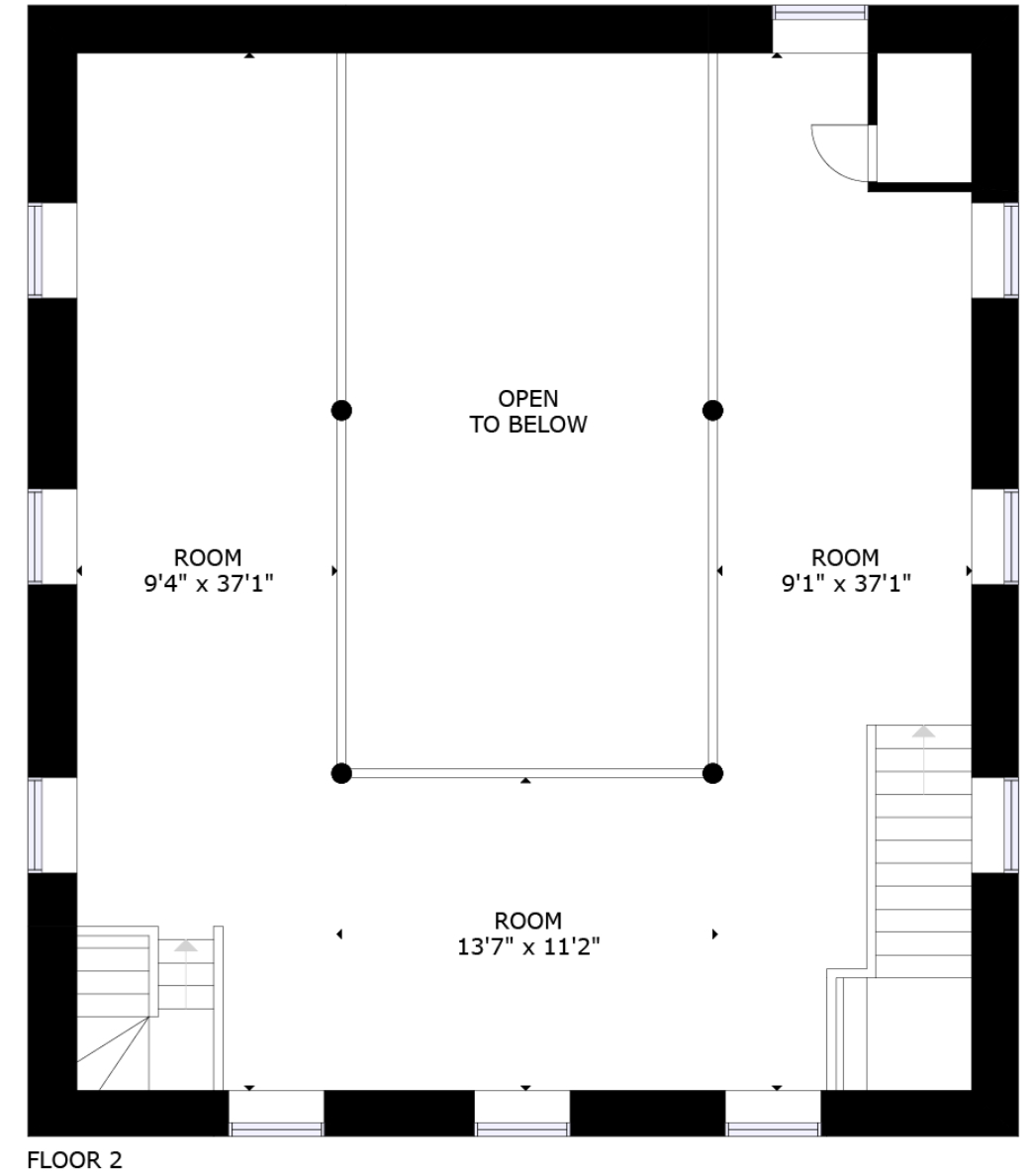
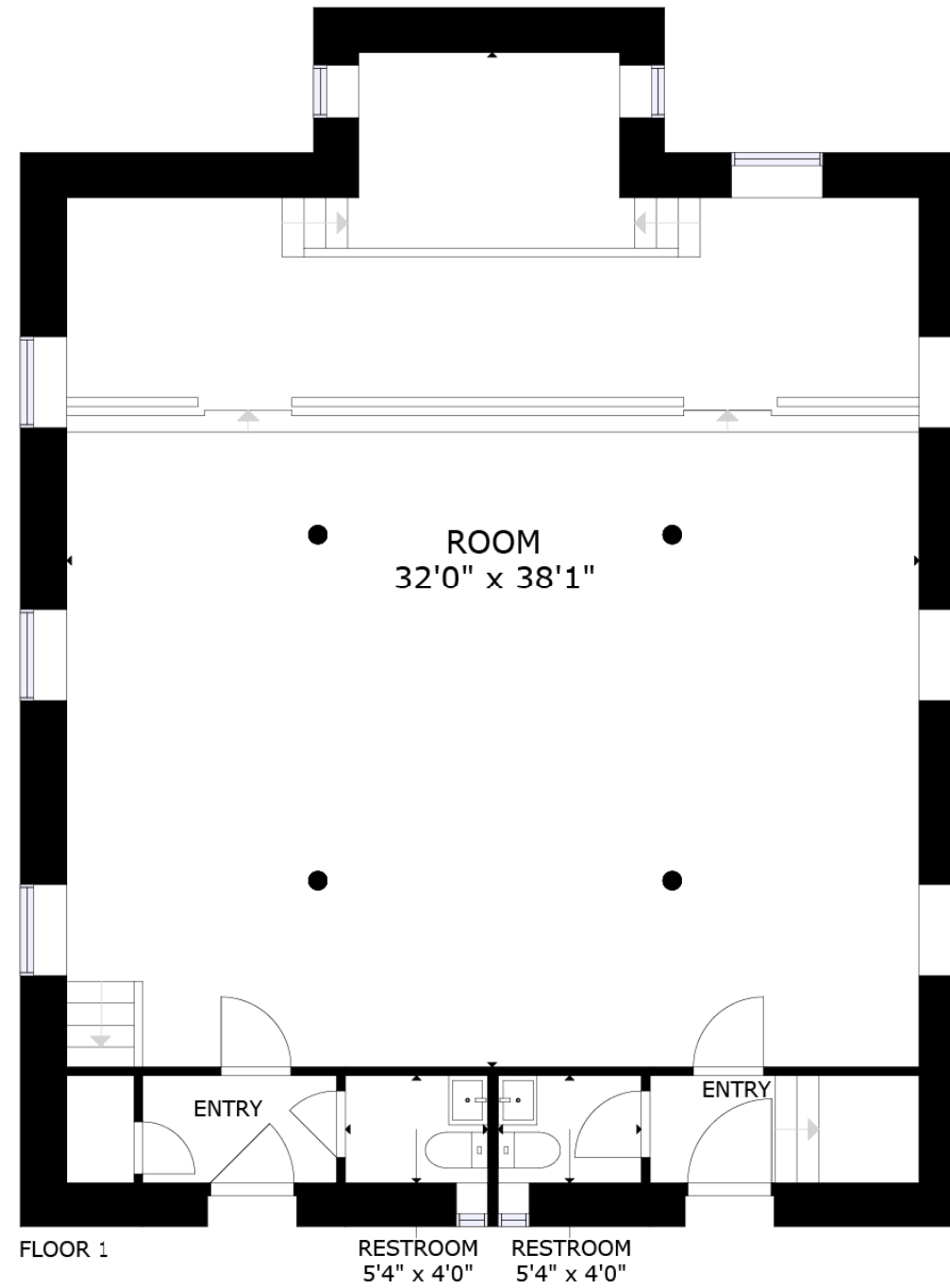
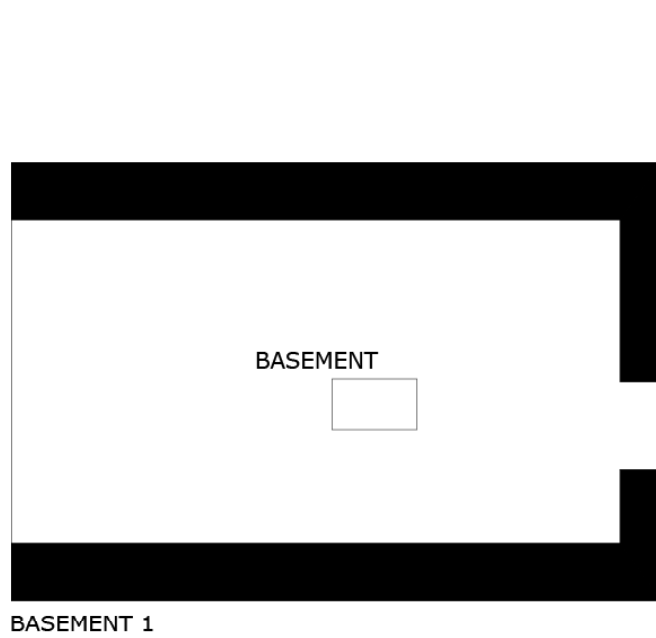
Façade Doors, CPG, July 2024

Exterior Doors: There are three exterior doors on the building: two single-leaf six-panel wood doors topped with elliptical fanlights are in place at the façade; the muntin configuration in the two doors differs slightly. These doors are recessed in their openings. It is believed that the doors were replaced in the 1970s. Should pictorial evidence of the historic door configuration be made available, that could be reinstated during a future rehabilitation project. The facade doors are a character-defining feature of the building and were identified during community engagement as an important feature to retain. If accommodating ADA access to the building is a priority of the town, it may be necessary to assess the ability to modify the existing doors, as well as the path into the building, to ensure it meets required clearances. If deemed important to retain, a secondary path into the building may need to be established to meet this need.



Basement Door, CPG, July 2024

The third door is single-leaf, plywood door and provides access to the basement from the southeast corner of the site. Due to the grade change at this portion of the site, this door provides at-grade walk-in access from the site. The door is currently off its hinges and requires repair to resecure the opening.



GROSS INTERNAL AREA
FLOOR 1: 1236 sq.ft, FLOOR 2: 856 sq.ft
TOTAL: 2092 sq.ft
SIZES AND DIMENSIONS ARE APPROXIMATE, ACTUAL MAY VARY.



Second Floor Façade Windows, CPG, July 2024

Windows: The building features double-hung wood windows on all elevations. All existing windows were installed during a mid-twentieth century restoration of the church and so are non-historic. However, on the interior, each window has a plaque inscribed with a congregant's family name, which are an important feature to retain to honor the history of the building and the descendant community. The windows are in good condition.



South Elevation Windows, CPG, July 2024

At the façade, there is a single nine-over-nine double-hung wood window situated between the primary entrance doors. On the second floor, there are three nine-over-six double-hung wood windows. All the façade windows feature arched upper sashes and tracery details.

The rear and side elevations feature six-over-six double-hung wood windows and four-over-four double-hung windows within the altar. The first-floor windows on all elevations and the façade windows on the second floor are fitted with multi-colored glass panes.

Interior

Plan: The building largely retains its historic open plan. Upon entering through either of the two façade doors, there is a small vestibule situated underneath the stairs. Towards the center of the entry vestibule are two modern bathrooms, while the front corners of the building contain the stairwells to ascend to the gallery. This entry sequence is likely a modern insertion; although, due to the mix of historic and modern materials in this area, additional historic research or limited selective demolition would be necessary to confirm the original plan in this area.

Upon entering the sanctuary from the entrance vestibules, there are pews situated in three sections, creating two aisles that lead to the altar from the entrance doors. The altar is raised slightly and features both historic and modern stage sections. The historic section is curved slightly, while the modern sections, executed in plywood, have been tacked on to create a rectilinear form.



First Floor, Nave, CPG, July 2024

At the rear corners of the sanctuary are the stairs accessing the gallery. The northern stair is original, and is configured as a winder stair. The historic southern stair was removed and a larger unfinished/temporary stair was inserted during the 2018 stabilization work. This stair allowed the contractor to bring new materials to the gallery level and to access the attic space to make critical roof and structure repairs. The southern stair appears to be code compliant, but is significantly larger, configured differently than the winder stair, and invades the historic sanctuary space.

The gallery wraps the upper level of the sanctuary at the north, south, and west elevations. The void in the center provides a viewshed down to the altar and apse on the first floor. Documentation indicates that this was previously a full second floor, but was opened to increase capacity for church services. Without the ability to accommodate an ADA lift or elevator, access to the gallery may be limited.



Gallery, View of Pulpit, CPG, July 2024

Interior Walls: Interior walls are a combination of finishes, including historic plaster and modern fiberboard partitions. The majority of the remaining historic plaster finishes exist on perimeter walls. These are a combination of direct applied plaster on the interior side of the stone, and plaster on lath, such as at the window openings. Limited historic interior walls have no remaining historic finish in favor of exposed stone where historic plaster deteriorated, likely due to moisture infiltration. This condition is seen primarily around window openings. Remaining historic wall finishes continue to the gallery level. There is a small historic storage closet in place in the southeast corner of the second floor. This is a wood plank enclosure with a four-panel wood door. Remaining plaster is in fair to poor condition.



Interior Wall and Window Opening Detail, CPG, July 2024



First Floor, Back Wall, CPG, July 2024



First Floor, Stairway to Gallery, CPG, July 2024

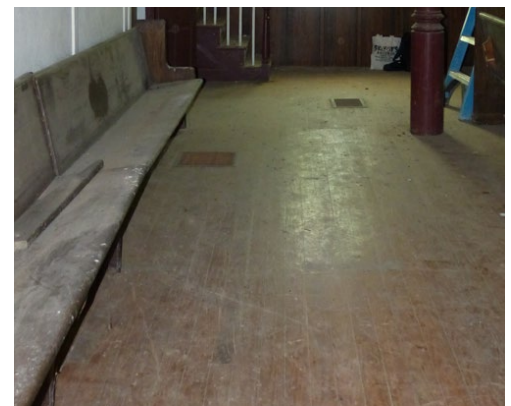
Modern partition walls have been inserted primarily to create the two first-floor bathrooms, which are situated between the two entrance doors. The front wall of the building has been furred out on the interior to cover the central façade window and obscure the interior of the bathrooms from view from the exterior. The back wall of the sanctuary is constructed of fiberboard with battens at the seams. This was likely installed during the mid-twentieth century renovation, and it is unclear if this wall existed historically. As noted in the plan section, additional historic research or selective demolition could be conducted to attempt to more definitively determine the configuration of the historic entry sequence. This may be an important avenue to explore if ADA access to the building is deemed necessary in order to accomplish required clearances at both the entry and for a compliant bathroom. Other modern partition walls include those inserted in 2018 to create the code-compliant south interior stair. Modern wall finish materials are in fair to good condition.

Ceilings: Most of the ceilings in the building have been removed, leaving the structure exposed to facilitate previous structural repair efforts. The only remaining ceilings in the building are in the entrance vestibules (drywall), the bathrooms (drywall), and at the altar (painted wood paneling). Remaining ceilings are in fair to poor condition, primarily due to moisture infiltration and prolonged vacancy. All exhibit flaking and peeling paint and general deterioration.



First Floor Pulpit Ceiling Detail, CPG, July 2024

Floors: The building features wood floors in most locations. The first-floor entrance vestibules feature modern sheet linoleum, while the sanctuary retains mid-twentieth century hardwood flooring. The sanctuary floor features floor vents and areas of plywood patches. The north stairs retain historic wood stair treads, while the south stair has been replaced with plywood stairs. The gallery features variable width pine floors, which are likely original to the building. The floors are in fair to good condition.



Floor Detail, CPG, July 2024

Interior Doors and Woodwork: There are limited interior doors in the building. The entrance vestibule is separated from the sanctuary by two single-leaf four-panel wood doors. These appear older than the walls in which they are installed, so it is possible they were either salvaged from another location or building or the wall at the back of the church was reconstructed using newer materials. The doors to the bathrooms are modern single-leaf hollow-core slab doors.

On the second floor, a single interior door remains, which accesses the small storage closet in the southeast corner of the building. This is a single-leaf four-panel wood door, matching the two doors in place on the first floor. It is in fair condition and appears to be in its historic location.



First Floor, Entryway, CPG, July 2024



Gallery, Closet, CPG, July 2024

Despite the condition of the interior of the building, much of the historic woodwork remains in place and is in fair to good condition. Within the sanctuary, remaining historic features include perimeter wall paneling, pews, and the altar, which features a turned balustrade as well as a paneled partition separating the apse from the rest of the altar and sanctuary. The window in the east elevation to the north of the altar has been removed and replaced with a built-in wood cabinet; it appears to have been



Altar, CPG, July 2024



Gallery Post Detail, CPG, July 2024

used to store Bibles and items used during services. Limited areas within the sanctuary also feature modern luan paneling.

The historic interior columns remain in place and are in fair condition. In several locations, the columns have cracks that run from top to bottom. The columns are round at the base and have a bellied center, which tapers slightly at the top, with turned details separating each section. On the first floor, they support the gallery and on the second floor, they support the roof. Any future structural analysis should include inspection of the columns to ensure they can adequately support the existing loads, as well as any added loads associated with a new use.

Additionally, the flat sawn baluster

remains intact at the gallery level. Although, evidence visible on the columns indicates that the railing previously met the columns at a lower level, and the height has been modified (likely for safety). This implies that the columns are an older feature than the railing itself, and was possibly replaced during the mid-twentieth century renovation to address safety concerns related to the lower historic railing.

The north stairs retain their handrails and treads, while the south stair and handrail has been replaced using modern materials, such as plywood and dimensional lumber.

Systems: All existing systems in the building, including electrical, mechanical, and limited plumbing, are modern yet outdated. Since the building is not currently in use, systems have been turned off and were not thoroughly tested or inspected for this report.

Plumbing is limited to serving the two modern bathrooms, which both include toilet and a sink. The condition of plumbing fixtures and lines is currently unknown, these should be inspected prior to reuse.

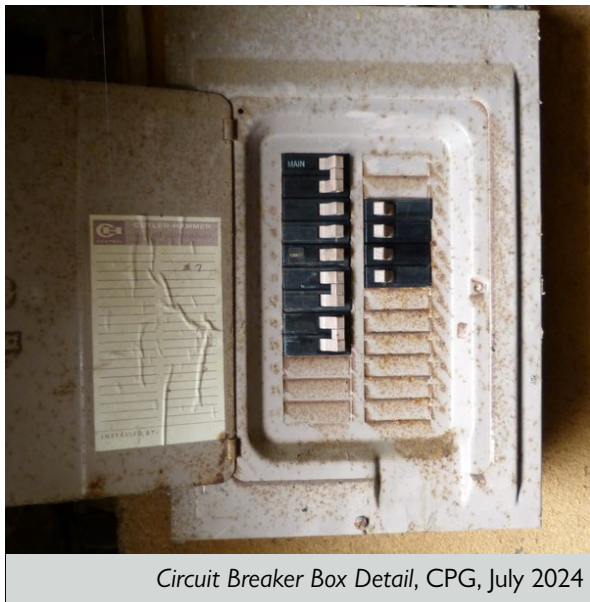


First Floor Bathroom, CPG, July 2024



Light Fixture Detail, CPG, July 2024

The electrical system is currently limited to a light fixture in each vestibule and bathroom, as well as two in the sanctuary. There are limited wall outlets on the first floor and on the second floor; these are dropped down from the attic space through rigid conduit and surface mounted on exterior perimeter walls. Where visible, electrical conduit and junction boxes appear to be outdated and should be inspected for code compliance.



Circuit Breaker Box Detail, CPG, July 2024

Mechanical equipment is housed in the basement, which exhibits evidence of frequent water intrusion, and appears to only service the first floor through floor vents. The system is not currently operational and the condition of the system is unknown. Future mechanical needs should be carefully assessed and the system sensitively installed to avoid impacting the historic character of the interior of the building. Exterior units should be placed at a secondary elevation and screened from view. Ductwork should be concealed where feasible, such as within the attic space. Exposed ductwork would not be compatible with this historically finished space.

Existing systems, particularly plumbing, is currently in the best location based on the historic plan of the church. By placing the bathroom enclosures at the rear of the church adjacent to the entry, the sanctuary and altar were allowed to remain fully intact. Patrons to the building can still experience the building by sitting in the pews and viewing the stage and altar in an uninterrupted configuration. The existing bathrooms are undersized and do not meet ADA requirements. If required to be upgraded, the bathrooms would need to expand into the sanctuary. There is no available space to accommodate a commercial kitchen within the historic sanctuary.

Conclusion

The reuse options to the right were deemed appropriate during the Community Engagement Services project. They may be pursued by Town Council as they seek to solidify a reuse and rehabilitation plan for the building: Once a reuse is identified, a formal preservation treatment plan can be developed to inform detailed architectural designs and construction documents. Ultimately,

Town Council has been tasked with identifying and executing a future reuse plan for the Asbury Church, and is therefore the steward of the building and its unique history.

Interpretive Site

Small Gathering Space

Assembly Space

Community engagement data is provided in this report for the Town to use in future engagement events related to the Asbury Church and other public projects within the Town of Middleburg. The key engagement takeaways provided in the Community Engagement chapter can be utilized to inform future programming and educational content for any reuse strategy. The conditions assessment, baseline documentation photos, and existing floor plans can be used for maintenance tracking, stabilization efforts, and future space planning purposes.

Appendices

A. Raw Data from Public Engagement

B. July 2024 Photo Key and Log

C. Resources for Future Rehabilitation Projects

D. Engineering Recommendations from Town Consultant

A. Raw Data from Public Engagement

1. Identify the potential use types you envision for the Asbury Church.

Top 5 Themes Identified

Theme	# of Responses
Museum or Museum-related Programming & Meetings; Exhibits	56
Community/Civic Center; Community Events; Community Meetings; Group/Community Meeting or Gathering Space	30
Multi-purpose	27
Church/Spiritual Uses- Services, Worship, Gatherings, Gospel Concerts, Church Events, Bible Study, Noon Day Prayer, Special Services, Meeting Space	20
Venue - Special Events, Vendor Events, weddings, private events, funerals	18

Response	Count
Museum	3
single family home, museum, art gallery (like Torpedo in Alexandria, va) and restaurant. Several cities have converted restaurants like New Orleans (Vessel restaurant), Charleston, SC (Church and Union), Bentonville, AK (The Preacher's Son), Ashland, OR (Undercroft Bar)	2
worship; museum; low-occupancy social space	1
Visitor Center; Museum	1
To be a place where seniors and others to receive resources. To help with a 55 and older employees. Also to help with after school activities.	1
The Middleburg Museum; highlight the African American history of Middleburg town residents; As a church for gatherings, for weddings, or funerals	1
TBD	1
something community members can use and walk to, meeting space, yoga studio	1

Sell it	1
Retail space or office space	1
Preschool; Cinema	1
prayers; family gatherings; bingo; community events; weddings, etc	1
Museum--> history of African American church and villages in Loudon County; Multiuse- Community pic nics, etc: Opens in mornings for meditation, reflection or possibly small group yoga or spiritual gatheri ngs	1
Museum; Theater for live performances + movies	1
Museum; multi-purpose space for activities related to museum's focus	1
Museum; Multi-purpose space	1
Museum; Multipurpose building	1
Museum; Classes; Multi-purpose	1
Museum; meeting place for small Middleburg groups	1
Museum; community performance space, lecture venue, and/or art gallery	1
Museum; committee meetings; Bible Study; Small Weddings/ tours; noon day prayer	1
Museum; church	1
Museum; Gospel Concerts; Church Weddings; Community Events; Community Thanksgiving Service	1
Museum; Community Center; Offices; Woodworker, potter, artisan	1
Museum/ educational purpose; Food Bank; Mobile Medical Services; Public Health; Non-profit	1
Museum, meeting space, multi purpose. The use should not alter the exterior or interior of the building other than to make it weather-proof and safe for pedestrian visitors.	1
Museum, daytime small meetings or events for local community	1
Museum, community gathering, multipurpose, spiritual	1
Museum, community center, event space	1
Museum	1

Museum where the history can be appreciated; affordable fathering spot for families to mark milestone s- small # of people; adult educational opportunities; concert space for groups like "A Place to Be"	1
Museum highlighting bureaus corner as you enter. And a theatre for small local productions.	1
Museum and multi-purpose use. A teaching and visitation site!	1
Museum (Highlighting the African American History in the Town of Middleburg and Loudoun County)	1
Museum (especially as LoCo's oldest AA church. Multi-Purpose that preserves church's historic look and feel.	1
Museum Multi-purpose; Educational; Part of Black History Celebrations	1
Museum Civic center Weddings	1
Multiuse: available to faith communities for worship or program meetings; available to nonprofits for meetings. A lecture series, opening with Henry Louis Gates Jr. speaking about the African American Church and Asbury's role in Middleburg history. A resource library for genealogy and church history with a research area in the gallery. Part of a Middleburg walking tour with an audio history. Collect stories and memories from surviving parishioners of the church. Offer school tours, make it a key part of a Black History tour of the county. However it should be restored rather than left to disintegrate and become a danger and an eyesore. Fees for services are acceptable.	1
Multipurpose; Performances; Lecture site; Seasonal Events	1
multipurpose; Museum; Commercial office space	1
multi-purpose, accessible cost to all groups (not priced out for anyone)	1
multi-purpose' weddings	1
multi-purpose spaces; an extension of Community Ctr.	1
multi-purpose space; special church services; special events; pleasing to look at	1
multi-purpose space; music recitals; small meetings; 7 loaves food bank	1
Multi-purpose space; museum	1
Multi-purpose space; Museum	1
multipurpose for residents + visitors (meetings, art exhibits, events/ rental/ weddings) *with history of the building +its use + how it and the black community are a historical part of town	1

multipurpose	1
Multi purpose use as a meeting space for non-profit organizations, a venue for weddings and other celebrations like Birthdays, Anniversaries, etc. (Of course, at a fee) Community events for Seniors	1
Multi purpose - we need a smaller and reasonably priced place to have events. The community center is now too expensive to rent.	1
meeting space for town residents - i.e. classes, clubs, etc	1
Meeting Place for groups with mission/ interests consistent with community building, peace, brotherhood; Historical Learning Center	1
It would be wonderful to honor this building with the original intention the town wanted to do many years ago..... a museum to highlight the black history of our town, which played such an important role in the history of our town.	1
interior tells the story of the Black Comm. in Middleburg; and challenges specific persons of note; use outside as a beautiful garden for individuals to gain hope, and contemplate challenge as did those who worshipped and doctored those in Civil war provide funds to volunteers to maintain- but door benches, water foundation, statues, etc.	1
Ideal location for the Middleburg Museum. Community meetings space, exhibition space for local non-profit activities	1
I replied to the survey and attended the meeting, but please see my additional thoughts at the end of this survey.	1
I envision it as a museum OR some sort of foundation offering workshops, programs etc. relating to the historical significance of the church and/or community.	1
I completed a hard copy of the survey some weeks ago. After attending the meeting last night, I wanted to add my revised thoughts. I think the space should be renovated and kept as a quiet, spiritual place to visit, not as an 'event' space. (No busses, no meetings, no scheduling of groups, no noise or organized activities.) The history of the building and its community could be highlighted with plaques, information and interactive exhibits, but it would simply be a place to visit, sit, and take it all in. It would be wonderful if the restoration could include all the aspects of what made it a beloved place of worship- the bell tower, pews, windows, altar etc etc (question 11 of the survey). Restore it to its best self, and let visitors come and soak in the spirit and magic of it. Thank you for all you are doing to save this beautiful building.	1

Honestly, I see this property as something the town should probably have avoided. While the town does need some facilities that this building could provide, I suspect there would be blowback if you turned this property into, say, rental apartments.	1
Historic Landmark; space for special events	1
Historic Church site for tours and programming. Civil War tours African American History programming Weddings Funerals	1
Gathering space with exhibits to educate + celebrate the African American history of the building, church, town of Middleburg, and Loudon County; Small-scale meet space for former congregation- Shiloh Baptist Church and Methodists and other faith groups; Walk-in use as small lecture or meeting space for Middleburg residents(no need for much parking)! Space for pop-up, seasonal, and short term exhibits, best tied to other African American historic walkings tours or celebrations like Juneteenth in Middleburg	1
gathering space for community gatherings; Museum of ACADs in W (?) Loudon; conservation offices; youth activities; a church?	1
Event venue; Museum showcasing Mburg History	1
Event Center; Museum; Community Center extension	1
Community space for the arts. Gallery, theater uses within the arts. Educational space for the community both children and adults Non - profit events.	1
Church + Middleburg Museum; Multipurpose space (reading gathering)	1
As Middleburg's and Loudoun County's oldest house of worship, Asbury Church provides a unique opportunity for a museum articulating African American history and culture our region. Such a museum could be modeled on the African American Museum of History and Culture and developed with the same philosophy but localized to "Hunt" country. In addition to exhibits presenting the African American experience, Asbury Church with appropriate staffing could a) provide a venue for related programming and meetings, b) develop educational materials for use in schools, c) provide a national model for use of similar structures. We are proud of NSLM. Developing a similar venue celebrating African American experience would dramatically enhance the community of Middleburg.	1
Art/ gallery- Museum; Community/ building for fundraisers	1

a. Gathering space, with permanent exhibits, in which to educate/celebrate African American and related history of the building, church, Town of Middleburg & Loudoun County. b. Historic stop on a walking tour of Middleburg or driving tour of the County. c. Small scale meeting space for the former congregation, Shiloh Baptist Church on East Marshall, and other faith groups in the Middleburg area. d. Small scale use for lectures/meetings/musical performance sponsored by Middleburg area groups with a related historic or community mission to Asbury Church. e. Space for historic pop-up exhibits, seasonal and short term. Best if tied to other AA or related historic events nearby or to Middleburg celebrations, like Juneteenth. f. A model of sensitive historic restoration that permits full ADA access to the first floor and restroom. All uses should be scheduled in advance with emphasis on walk in attendance. North Jay Street parking should be restricted to ADA access for scheduled uses.	1
a. A dedicated historic church site for tours and programming focusing on the complete history of the church from 1829 to its closing. b. Integrated with Christmas in Middleburg activities. c. Venue for special church services, weddings and funerals.	1
A more affordable venue for meetings, weddings, parties, etc- an alternative to the Community Center ; To use for special church services- Easter, Christmas Eve, etc. A museum	1
A Church, a museum	1
1. Museum 2. Education for Loudoun County students 3. Multipurpose 4. Black History	1
1) Church services 2) museum 3) group meetings 4) special events 5) vendor events	1
- workforce/"missing middle" housing in an adaptive reuse. Town could create non-profit to own property. Non-profit would hold land and lease for \$1/year. Developer could do an adaptive reuse into condos or apartments. Lease would limit the right to purchase to workers from in/around Middleburg (Hill School, Foxcroft, etc.). Purchase price of condo would cover cost of construction, but land lease would remain with non-profit. Condo owners wishing to sell could sell only to qualified buyers, or if no buyers back to the non-profit. Model redevelopment on Irvine Campus Housing Authority at Univ. of Ca. Irvine (icha.uci.edu).	1

Answered: 80 Skipped: 5

2. Identify 1-3 uses of the Asbury Church building that you think are NOT appropriate options.

Top 5 Inappropriate Uses

Use	# of Responses
Commercial	36
Restaurant/ Bar	13
Retail	13
Residential (Single Family, Apartments, AirBnB)	8
Office Space	8

Response	Count
not commercial	2
Museum	2
hairdresser, farmer's market, conference center, clothing store	2
Commercial	2
Young people without supervision	1
Wedding/party venue. (1) If I recall correctly, parking in that block is pretty limited, (2) it would not be a good idea for this property to compete with the community center or Buchanan Hall, both of which seem to me to struggle a bit. Brothel. Burlesque. Seriously, I am open to most other uses.	1
The uses should remain sacred to the building	1
TBD	1
store restaurant bar	1
Someone's personal home; commercial usage of no kind; restaurant	1
Some commercial- but just not sure of limitations	1
Secular parties Personal Business or for-profit events	1
Retail/restaurant, event hall for businesses, residence	1

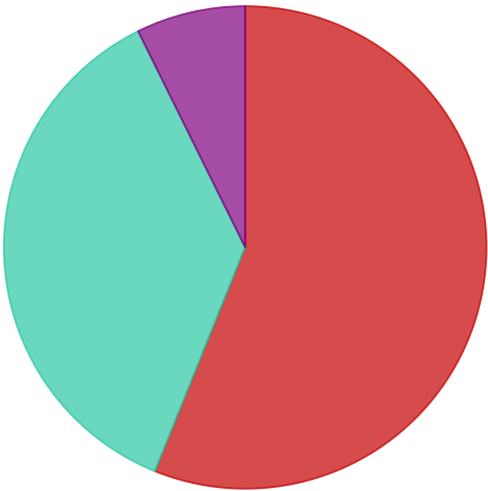
Retail Shop Restaurant Office space	1
Retail business; Commercial business (i.e. offices, gym, etc.)	1
Restaurant; Office Building; Apartments	1
Restaurant; retail	1
Residential space; Commercial; Anything contradictory to the history of the church or its former parish ners	1
residence; commercial	1
Please don't turn this historic church into an office building	1
parties; large gatherings of any type	1
office space; data center; Air- BnB; Pickleball courts	1
Office Space Private Business	1
Not to change anything if you can. Tell the history of the church. How it served as a hospital doing the war.	1
Not just a museum; prefer its an active use space so that its hx is shared (even to those who weren't l ooking for exposure to its hx)	1
not appropriate to be sold for commercial use	1
No commercial uses; no large groups that require more than 8-10 spaces of onsite parking or require bus access; no amplified outside music or speakers no spotlights or unshielded outdoor lighting	1
No commercial or political use. No large gatherings or evening events.	1
No commercial businesses	1
No commercial businesses into the Church.	1
Museum; Place of worship	1
Loud/noisy events	1
general offices unless carefully done for preservation; storage space for (?); retail space; athletic spac e; restaurant	1

Food and Beverage	1
due to the parking issue I think it should not be a space that would require daily use (i.e offices)	1
Demolition, commercial	1
Daycare; Office; Library; Store; Flea-market	1
commercial; any activities unrelated to museum's focus	1
Commercial; political	1
commercial; big events	1
Commercial; Private Parties	1
Commercial, Venue for holding events (weddings, birthdays, etc.0	1
Commercial!	1
commercial bars; restaurants; Vet shops; antiques	1
commercial use	1
Commercial- the church is surrounded by residential/homes.	1
Commercial or restaurant site.	1
Commercial offices- no realtors or lawyers	1
Commercial enterprises	1
Commercial	1
Clothing store; gift shop	1
Bar, hotel, thrift store	1
Bar	1
as a private residence; as a commercial rental, as an event hall- (Loudon Construction needs to relocate out of a residential neighborhood)	1
anything that destroys the external or internal elements of the building including pews, etc. Anything that is not open to the public as I think it should be shared as a key part of our history	1

anything noisy, possibly disruptive to the neighborhood, requiring a lot of parking, event space	1
Any commercial use that does not preserve the existing history of the building	1
a. No commercial uses, other than commercial sponsorship of a non-profit, faith or school program or exhibit. b. No large groups that require more than 8 parking spaces, due to parking constraints on Jay and East Marshall Streets and need for ADA access and street parking by residents. c. No amplified outside music or speakers. Interior music/performances should be limited in time and time of day to reduce impact on neighbors. d. Strict lighting control. No spotlights on the building or outdoor lights left on all night.	1
a. Location for Commercial Businesses b. Meeting space for AA or other rehabilitation services c. Recreation Center d. Location for the Middleburg Museum e. Location for non-profit businesses	1
A residence, a yoga studio or another commercial entity whose primary purpose is profit for an individual or group of individuals. All benefits should accrue to the Town.	1
a church	1
1. Use should be line line with reverence for the Church	1
1) any for-profit activity	1
- retail - noisy activity that would disrupt peaceful enjoyment	1

Answered: 68 Skipped: 17

3. How closely should the new use relate to the history of the Asbury Church?

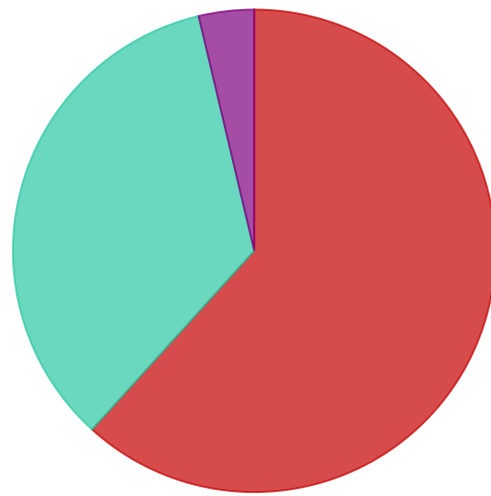


- The new use could highlight the Asbury Church's history in some ways, but the history does not need to be central to the new use.
- The new use should be directly connected to the history of the Asbury Church in some way.
- No, the new use can be completely unrelated to the

Answers	Count	Percentage
The new use could highlight the Asbury Church's history in some ways, but the history does not need to be central to the new use.	46	54.12%
The new use should be directly connected to the history of the Asbury Church in some way.	30	35.29%
No, the new use can be completely unrelated to the history of the Asbury Church.	6	7.06%

Answered: 82 Skipped: 3

4. When considering how the Asbury Church will be used in the future, who should be the focus of the building's reuse?



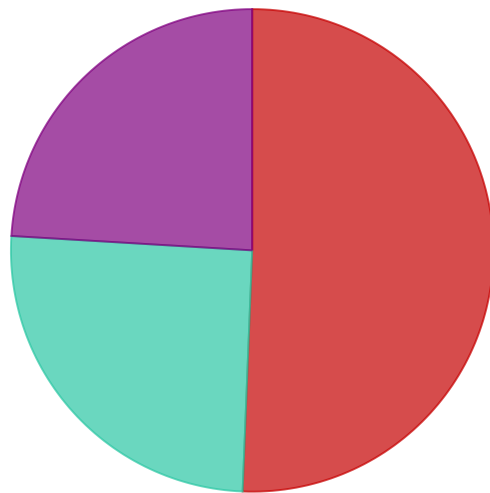
● The use should be of equal benefit to locals and visitors.

● The use should primarily benefit the residents of the greater Middleburg community.

● Other (please expound on your choice and indicate who you envision using the new space)

Answers	Count	Percentage
The use should be of equal benefit to locals and visitors.	50	58.82%
The use should primarily benefit the residents of the greater Middleburg community.	28	32.94%
Other (please expound on your choice and indicate who you envision using the new space)	3	3.53%
The use should be focused on visitors to Middleburg.	0	0%

5. The history that is highlighted or discussed in the building, should (be) ...

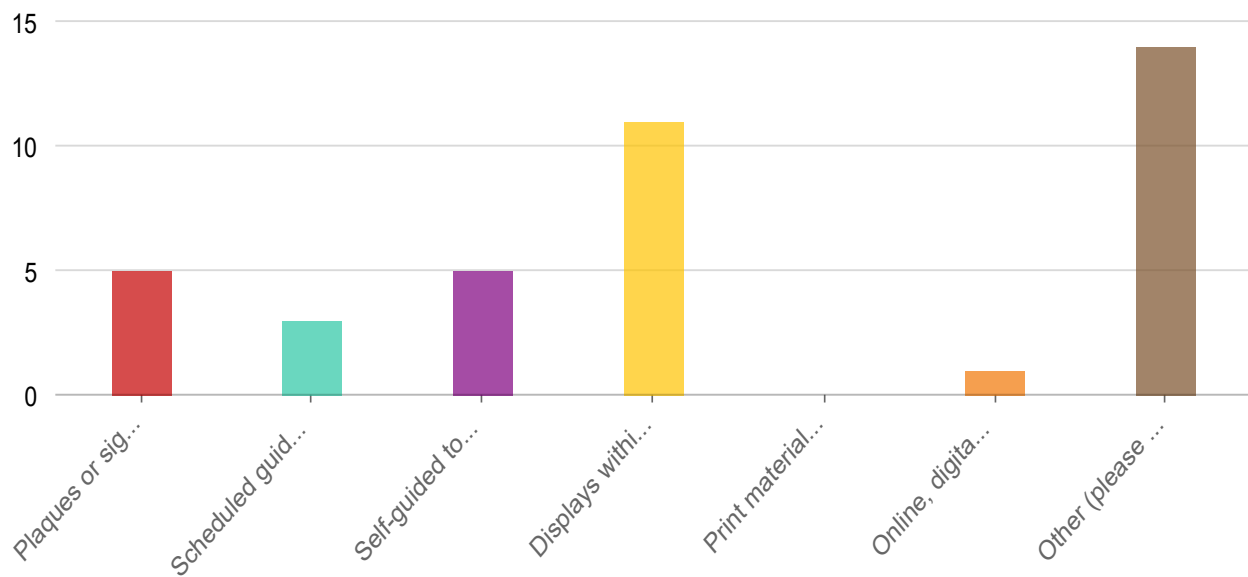


- Connect the history of the Asbury Church to its larger context, for example within the county
- Specific to the Asbury Church
- Related to the larger story of the Town of Middleburg

Answers	Count	Percentage
Connect the history of the Asbury Church to its larger context, for example within the county	40	47.06%
Specific to the Asbury Church	20	23.53%
Related to the larger story of the Town of Middleburg	19	22.35%

Answered: 79 Skipped: 6

6. How would you like to see the history presented?



Answers	Count	Percentage
Plaques or signs outside the building, providing historic context	5	5.88%
Scheduled guided tours, interpretive programming, and special events	3	3.53%
Self-guided tours for impromptu visitors	5	5.88%
Displays within the building that include historic information and artifacts	11	12.94%
Print materials, such as brochures and flyers	0	0%
Online, digital resources	1	1.18%
Other (please indicate how you would like to see the history presented)	14	16.47%

Answered: 39 Skipped: 46

6. How would you like to see the history presented?

Responses for “Other”

A collection of the choices above, impromptu visitors, online resources, exterior signage, guided tours with programming and special events.

All

All of the above

all of the above (though self-guided tours are unnecessary if you have all the rest)

All of the above except self-guided tours for impromptu visitors

All of the above would be workable.

All of the above!

How much factual material is there about this building? Might be interesting for the material displayed there to discuss its place among AA/Black churches in LoCo, or VA or even the southern US. Any/all formats OK.

I think a combination of several of these: outside signs, displays and historic info and artifacts, printed materials and digital info (especially QR codes, etc. that might talk or describe things)

In Middleburg Museum not at church

Include all the above

On the paper form, you allow us to circle all that apply. I support four options: b. scheduled guided tours, d. displays within the building, 3, print materials , f, online, digital resources

Plaques or signs outside the building, providing historic context AND Displays within the building that include historic information and artifacts AND Online, digital resources AND Print materials, such as brochures and flyers

plaques, church services, self guided for impromptu visitors, listed on the walking tour of middleburg.

7. What groups or organizations do you think should be involved in developing the interpretive program?

Top 5 Groups / Organizations

Use	# of Responses
Historical Groups/Organizations; Historic Preservation Groups; County Historic Organizations (General Category)	12
Individuals/Groups Knowledgeable on the Subject	11
Former Church Members & Descendants	11
Town of Middleburg; Town Council	8
Middleburg Citizens Focus Groups; Residents	7

Response Count

restaurant association, art council, developers (commercial and residential), town council, residents.	2
Middleburg Museum	2
Willisville Preservation Society & former congregation of Asbury Church. Other local African American communities in nearby settlements, St. Louis, Macsville, Lincoln Afro American Historical Association of Fauquier County The Black History Committee, Thomas Balch Library, Leesburg, AA history projects at Oatlands and Morven Park near Leesburg Piedmont Area Preservation Association Black Historic Museum & Cultural Center, Richmond Preservation Virginia Virginia Endowment for the Humanities	1
Volunteers- if you can find them	1
Unclear on what is meant by "the interpretive program". Historical research/analytics group (with focus on black history in Virginia) through local colleges/universities.	1
Town Council; A committee volunteer of locals	1
Those with previous similar experiences	1
This is TBD pending results of this survey and the Town Council decision on use, but request restricted involvement from Loudoun County Parks, Recreation and Community Services.	1
the town only- it's our money you put up	1

The Loudon chapter of NAACP; Loudon Freedom Ctr (Pastor Michelle Thomas) Loudon Now Black History Committee	1
The African-American community and the folks steeped in the history .	1
Some of the long standing locals that might still have first hand knowledge (of from parent's stories, etc), and some of the churches. I would say, if someone has an interest with knowledge of the history would be great to have on a committee.	1
residents familiar with the history of bureau's corner. Possibly NAACP.	1
Residents and historians that are familiar with the history include first hand accounts if possible.	1
people who went to church there, other longtime residents of Middleburg	1
People who still live in the community who had family members who was apart of the church	1
Not sure yet. It may depend on the outcome of the survey.	1
Newly formed preservation committee	1
NAACP; Town of Middleburg	1
NAACP; Douglass High School; Alumni Association	1
NAACP, Willisville, Middleburg Museum, Black History Comm of Loudon	1
NAACP	1
Middleburg Planning Committee	1
Middleburg Museum, Friend of Asbury Church, Town of Middleburg	1
Middleburg Museum Black History Committee of Thomas Balch Library Willisville Preservation Foundation	1
Long-term residents of Middleburg, some of whom may have attended the church years ago	1
Local historians/ families of worshippers; local organizations like Middleburg Garden Club, Middleburg Museum Board Non-local groups who have a progressive agenda should not be involved	1
Like minded citizens of all races who are open- minded and live in Middleburg	1
I don't know which groups are out there	1

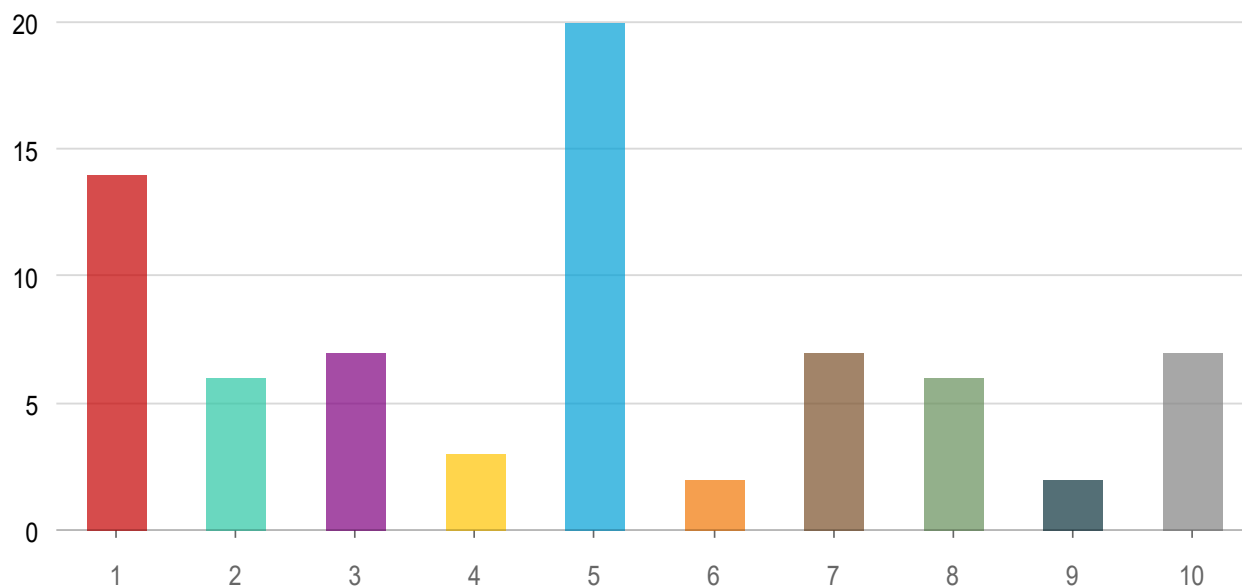
I don't know but perhaps something like the National Trust for Historical Preservation.	1
History, beautification, realtors in area, sporting museum, any shop owners in town.	1
Historical Groups; Middleburg Parade Committee	1
Historical groups	1
Historical associations with experience in maintaining historic structures.	1
Historic preservation-type organizations that are non religious related but play homage to the history of the church and the African American community that worshiped there...specific to the Middleburg Residents	1
Historians and individuals who have been actively associate with Asbury over the years	1
Groups/ organizations that know Asbury Church History	1
Friends of Asbury Church Willisville Foundation Town of Middleburg County of Loudoun National Park Service (interpretive design center is in Harpers Ferry)	1
Foundations in LC, retail owners, all citizens	1
Former parishoners; Black citizens who have knowledge of Asbury ; Civil War Historians	1
Former members Former local resident that attended	1
Don't Know	1
Current and former Town Residents	1
Create several different focus groups composed of Middleburg citizens.	1
Community Organizations	1
Black history & local Middleburg groups & organizations (Middleburg Museum) Historic organizations.	1
Black historic organizations, local long term residents + descendants, experts on local history	1
Anyone with actual facts about the subject matter. I guess whoever does the development is going to want to be paid (and the town will take heat for that), but someone needs to assess the available material and a decision is going to need to be made about whether there is enough there to be worth messing with/paying for.	1

anyone living who attended/ used the church (or their descendants); Some type of historic preservation group (so specific details of architecture + how built) ; any university history professor (just for expanded info)	1
Any relatives of our former parishners of the church interested in collaborating	1
Any group, organization or individual who has vetted knowledge of Asbury Church	1
An organization that is knowledgeable of the history of the church and greater surrounding area in both Middleburg and Loudoun county.	1
1.) Former church members and their descendants 2) Middleburg community 3) County historic organizations, especially those that specialize in black history	1
1) African American community 2) organizations currently engaged in preserving the diverse history and culture of the greater Middleburg/Loudoun/Fauquier county region 3) influential individuals who have connections with a) programmatic and b) financial resources required to establish "Asbury Church, a Center for African American History and Culture Regarding #8 below: The Town should underwrite 1) development of a strategic plan to develop Asbury Church as outlined above including getting it listed as on the National Landmark of Historic Places, 2) creating a 502 c 3 organization to manage its development, and 3) hiring a project manager to facilitate development of the center.	1

Answered: 57 Skipped: 28

8. Would you support the use of Town taxpayers' dollars for the operation and maintenance of future use(s) in the Asbury Church or should it be fully self-supporting through fees or other forms of revenue?

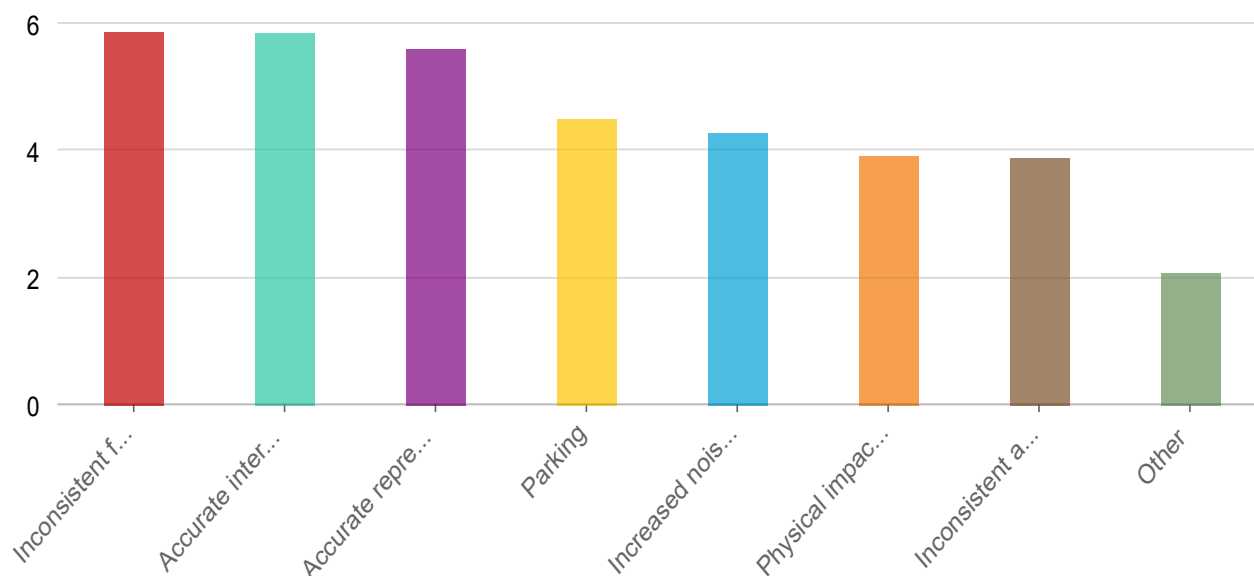
1= no taxpayer \$ support, 10= fully funded through taxpayer \$



Answers	Count	Percentage
1	14	16.47%
2	6	7.06%
3	7	8.24%
4	3	3.53%
5	20	23.53%
6	2	2.35%
7	7	8.24%
8	6	7.06%
9	2	2.35%
10	7	8.24%

Answered: 74 Skipped: 11

9. What is your greatest concern related to the future use of the Asbury Church?

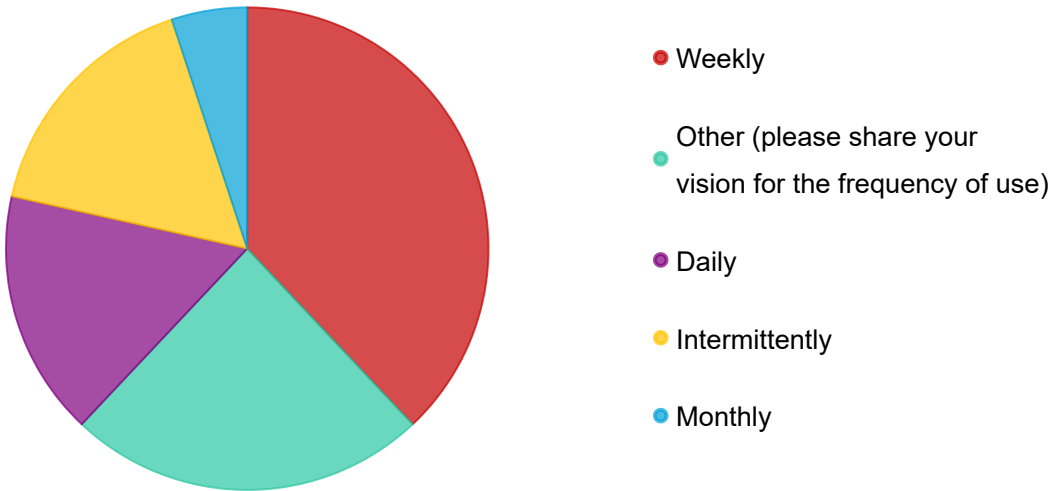


Rank	Answers	1	2	3	4	5	6	7	Average score
1	Inconsistent future maintenance of the Asbury Church	19.35% 12	11.29% 7	25.81% 16	27.42% 17	12.9% 8	3.23% 2	0% 0	5.87
2	Accurate interpretation of the history of the building	20.97% 13	24.19% 15	20.97% 13	8.06% 5	11.29% 7	9.68% 6	3.23% 2	5.85
3	Accurate representation of the people who used the Asbury Church over time	20.97% 13	22.58% 14	12.9% 8	11.29% 7	11.29% 7	12.9% 8	8.06% 5	5.60
4	Parking	8.06% 5	20.97% 13	8.06% 5	9.68% 6	8.06% 5	24.19% 15	16.13% 10	4.50
5	Increased noise and traffic in the area	22.58% 14	4.84% 3	3.23% 2	8.06% 5	11.29% 7	19.35% 12	20.97% 13	4.29
6	Physical impacts of the new use on the historic building (eg to comply with the building code, ADA, etc.)	1.61% 1	9.68% 6	12.9% 8	12.9% 8	19.35% 12	12.9% 8	22.58% 14	3.92
7	Inconsistent access to the Asbury Church (as it relates to the hours of operation)	1.61% 1	3.23% 2	12.9% 8	17.74% 11	22.58% 14	14.52% 9	25.81% 16	3.89
8	Other	4.84% 3	3.23% 2	3.23% 2	4.84% 3	3.23% 2	3.23% 2	3.23% 2	2.08

9. What is your greatest concern related to the future use of the Asbury Church?

Responses for “Other Concerns”	# of Responses
Location in a residential area; use should be considerate and compatible with its location; primarily day-time uses	3
Should eventually be able to fund itself or have a designated supporting organization other than the town over time	2
Unsure	1
Future and consistent management and coordination across involved parties	1
Drainage	1
Changes to the site and building	1
Proper signage for visibility	1
Capturing stories of Senior African American residents	1
Should not be a burden to Middleburg taxpayers	1
Parking and ADA access	1
Should not be used for political agendas or events	1
Should offer factual historical information	1
Outdoor Garden should be used as a reflection space	1
Is this building worth preserving as a kind of monument/shrine? Will it be too narrowly focused to be of interest? Why isn't material relating to this building already part of the Middleburg "museum"?	1
Will there be an admission fee?	1
Trying to do too much for too many and expecting the project to pay its way. The struggles of the Middleburg Museum reflect the challenges in funding, attracting volunteers and maintaining property. Asbury Church is a historic treasure that should be maintained by the Town of Middleburg for sustainable, low impact uses focused on its African American history as it relates to the building, former congregation, Town and County. The restoration and permanent exhibits in the Church should be ambitious, the future uses modest but high value.	1

10. Do you envision the Asbury Church building should be open and available?



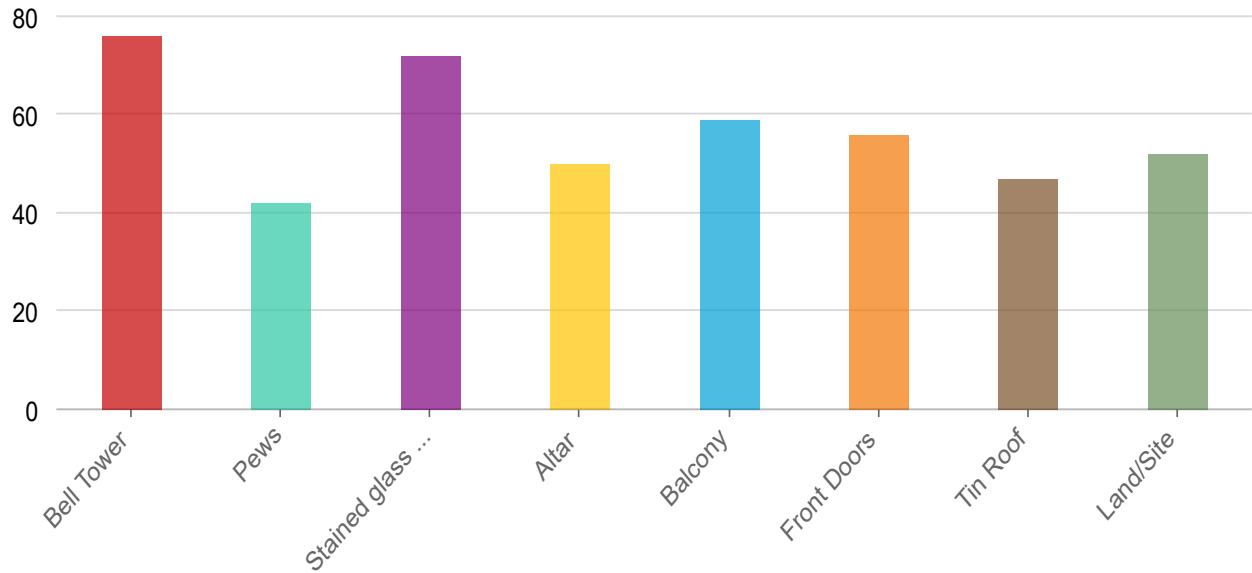
Answers	Count	Percentage
Weekly	30	35.29%
Other (please share your vision for the frequency of use)	19	22.35%
Daily	13	15.29%
Intermittently	13	15.29%
Monthly	4	4.71%

Answered: 79 Skipped: 6

10. Do you envision the Asbury Church building should be open and available?

Responses for “Other”	# of Responses
Depends on the use & who it is serving	5
Thursday - Sunday and special events	2
Always during special Middleburg Day (eg. Christmas Parade, etc) ; For scheduled group tours, maybe one day each month	1
Daily, but scheduled/ reserved for specific activities	1
Develop as housing for use by occupants.	1
If it is some kind of museum, weekends is probably sufficient. If it's apartments, offices, artists' lofts, 24/7.	1
Intermittently and via rental for community meetings or resident event use	1
Intermittently during daytime hours	1
Once a week or month for public and then when used for a function	1
Retail or Office space	1
Should Asbury become The Middleburg Museum, I say open "weekly." Until then, "monthly"	1
This really depends on funding and finances. Obviously, daily is the ultimate goal, perhaps, but perhaps weekends and by special request would be a good starting point	1
Weekly- F/S/Holidays	1
When quality programs are scheduled, planned and promoted, not to open just to be open.	1

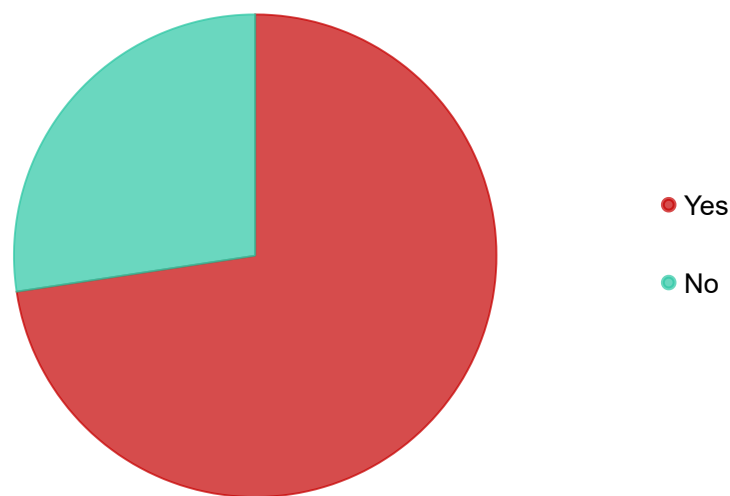
11. What elements of the physical building do you think are critical to retain during the course of the renovation?



Answers	Count	Percentage
Bell Tower	76	89.41%
Pews	42	49.41%
Stained glass windows	72	84.71%
Altar	50	58.82%
Balcony	59	69.41%
Front Doors	56	65.88%
Tin Roof	47	55.29%
Land/Site	52	61.18%

Answered: 82 Skipped: 3

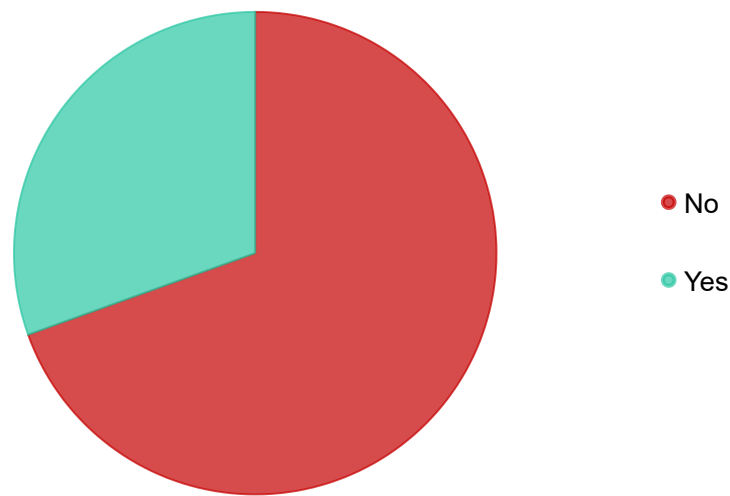
12. Do you live in Middleburg?



Answers	Count	Percentage
Yes	61	71.76%
No	23	27.06%

Answered: 84 Skipped: 1

13. Do you work in Middleburg?



Answers	Count	Percentage
No	57	67.06%
Yes	25	29.41%

Answered: 82 Skipped: 3

14. If you answered no to both Questions 12 and 13, what is your association with Middleburg?

I guess you can say I live in Middleburg. I live on the border of Middleburg and Upperville. Upperville address but Middleburg/Loudoun County resident.	2
Work at a local shop	1
See Questions 16 and 17	1
Note: I own a house in Middleburg which I use as an office. (They have owned the house for 30 years)	1
None	1
My father was a Lay Speaker at the church also lived at house belonging to the church.	1
My childhood church	1
Mother and Grandparents lived in Middleburg, Family past members of Asbury Friends of Asbury Member	1
Live just outside of town and own various properties in town.	1
It is my town, and I have been a resident, business owner and active in town government for many years	1
I was raised up in Middleburg and went to church at Asbury.	1
I was born and raised in Middleburg. (Middleburg Native)	1
I volunteer in Middleburg. I was involved in the renovations of Aldie Mill, the Institute, + 8 houses in Aldie	1
I own property in Middleburg, both residential and commercial, and have for many years. I grew up in the area and went to grade school in Middleburg.	1
I lived there for 25 years and had family who attended the church	1
I live just east of Gilberts Corner and grew up banking and shopping in Middleburg. I have many friends in the area, as well.	1
I live in Middleburg	1

I grew up in Middleburg, attended Banneker and Middleburg Elementary Schools. I also attended church services in the past at Asbury as well as Shiloh Baptist next door.	1
I attended Asbury & Former Resident of Middleburg	1
I am retired, so do not work in Middleburg.	1
Homeowner and shop manager for Nature Composed	1
Black History Committee, Friends of the Thomas Balch Library. Our mission is to preserve and share Loudoun's black history.	1
Author of regional histories committed to preservation of the Middleburg's culture and community	1
20184	1

Answered: 25 Skipped: 60

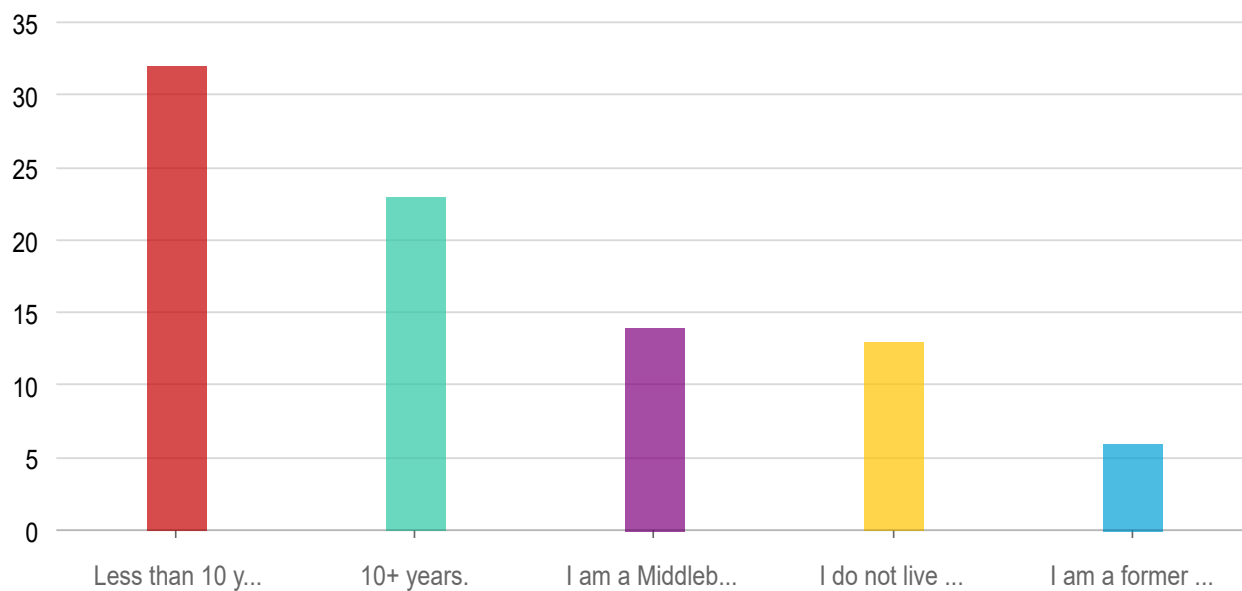
15. What is the zip code of your residence?

Zip Code	# of Responses
20117	60
20118	5
20184	4
20175	2
22079	2
22602	2
N/A	2
20105	1
20115	1
20147	1
20170	1
20198	1
22180	1
23188	1
27870	1

16. How long have you lived in Middleburg?

Zip Code	# of Responses
20117	60
20118	5
20184	4
20175	2
22079	2
22602	2
N/A	2
20105	1
20115	1
20147	1
20170	1
20198	1
22180	1
23188	1
27870	1

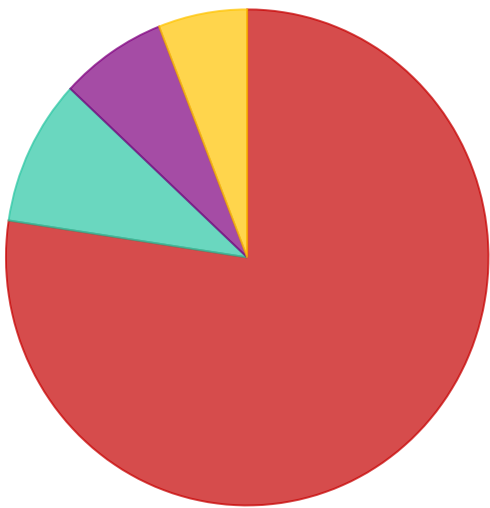
16. How long have you lived in Middleburg?



Answers	Count	Percentage
Less than 10 years.	32	37.65%
10+ years.	23	27.06%
I am a Middleburg native.	14	16.47%
I do not live in Middleburg.	13	15.29%
I am a former resident of Middleburg who continues to be engaged with the community.	6	7.06%

Answered: 83 Skipped: 2

17. Were you or a relative a member of the Asbury Church?

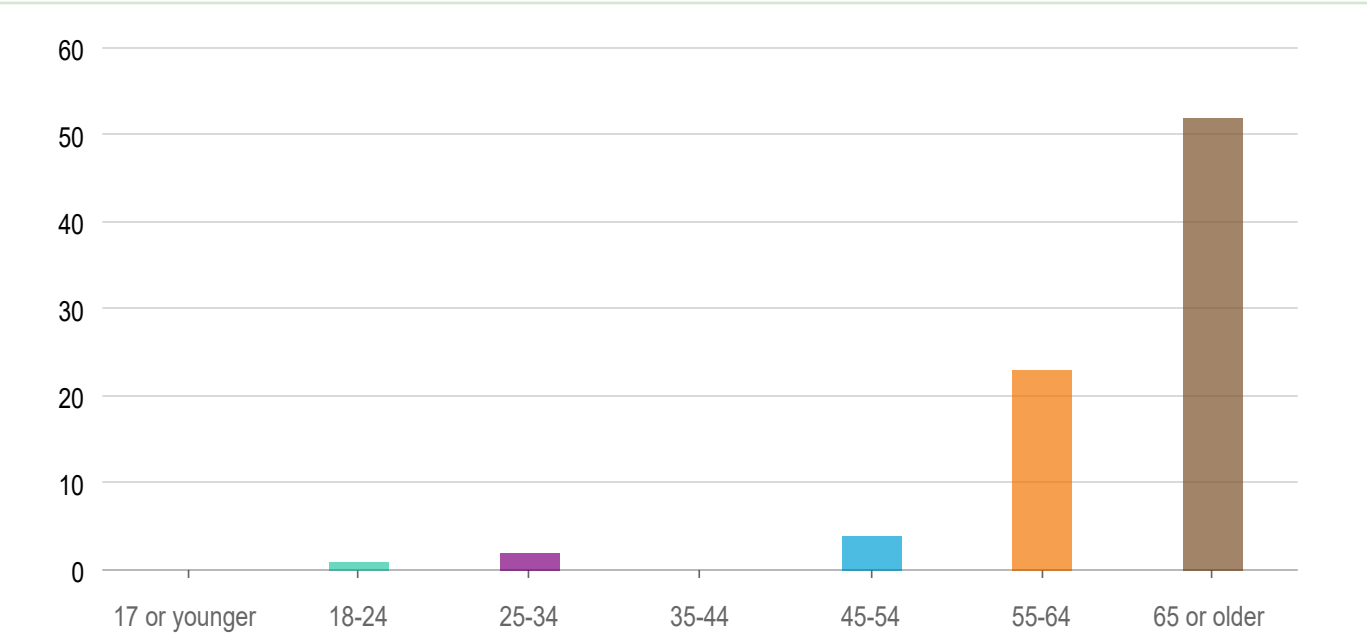


- No, I do not have any direct connection to the Asbury Church beyond living nearby.
- No, but I have another connection to the Asbury Church.
- Yes, my family attended the Asbury Church.
- Yes, I attended the Asbury Church.

Answers	Count	Percentage
No, I do not have any direct connection to the Asbury Church beyond living nearby.	65	76.47%
No, but I have another connection to the Asbury Church.	8	9.41%
Yes, my family attended the Asbury Church.	6	7.06%
Yes, I attended the Asbury Church.	5	5.88%

Answered: 84 Skipped: 1

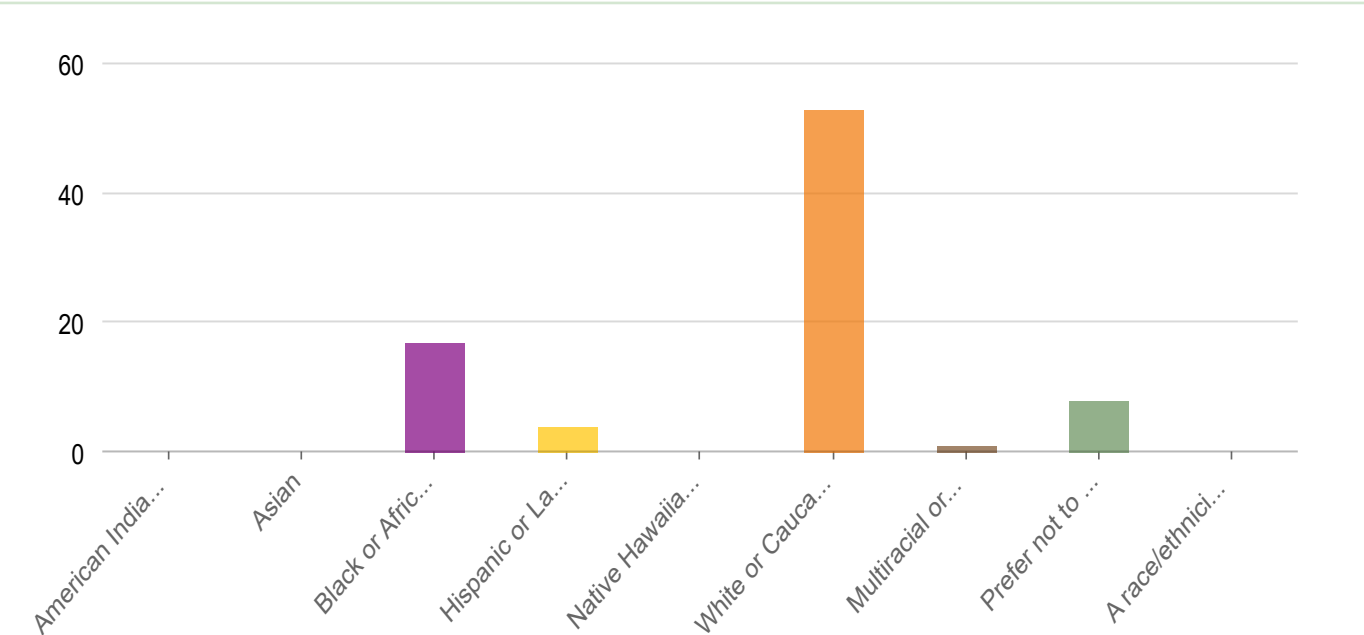
18. What age group are you a part of?



Answers	Count	Percentage
17 or younger	0	0%
18-24	1	1.18%
25-34	2	2.35%
35-44	0	0%
45-54	4	4.71%
55-64	23	27.06%
65 or older	52	61.18%

Answered: 82 Skipped: 3

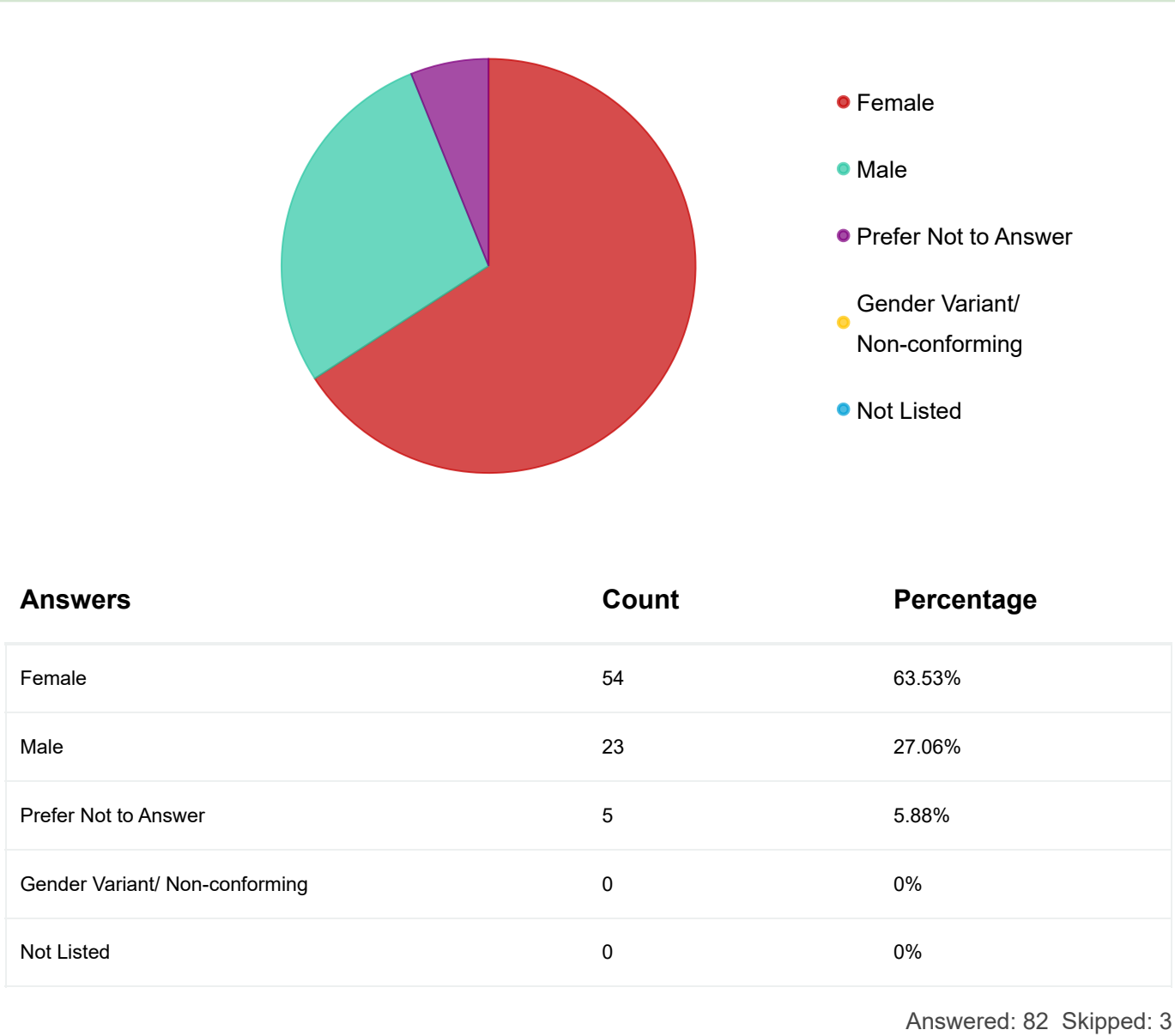
19. Which of the following best describes you?



Answers	Count	Percentage
American Indian or Alaska Native	0	0%
Asian	0	0%
Black or African American	17	20%
Hispanic or Latino	4	4.71%
Native Hawaiian or Other Pacific Islander	0	0%
White or Caucasian	53	62.35%
Multiracial or Biracial	1	1.18%
Prefer not to answer	8	9.41%
A race/ethnicity not listed here	0	0%

Answered: 83 Skipped: 2

20. With which of the following do you most identify?



21. Please provide any other thoughts you may have regarding the Asbury Church Project that were not addressed in the survey questions above.

Response	Count
Husband and wife completed this together	2
Workforce/"missing middle" housing is a big issue for the town, and this has the potential to provide several housing units that could address that need. A developer could help the town understand what its potential is, how many units, how to adapt it in a way that is sensitive to and respectful of the historic structure, etc. Residential use would be consistent with the surrounding properties on Jay St. The Irvine Campus Housing Authority (icha.uci.edu) has used similar model (at a much bigger scale) for 50+ years. This could help Middleburg begin to address the problem that we face. It can't solve the whole problem, but would help get us started.	1
weather ___(?) with parking for visitors	1
The meeting was great- thank you for the care and transparency with which you are conducting the process.	1
The history and impact of the church on the black Culture and community in this town	1
The church as it exists to day represents it as it was when last occupied, and probably for many years prior. I recommend not altering any of the architectural features of the church other than those required to keep the weather out and to maintain a reasonable temperature and humidity level inside so as to prevent deterioration. Interior refurbishing should be kept to a minimum to maintain the feel of the former use.	1
Thank you for the opportunity to provide input. Middleburg is not just home to wealthy folks, regular people treasure this wonderful town.	1
Thank you for the desire to preserve Asbury Church	1
Thank you for sending the survey to get best practices and responses from all.	1
Thank you for being sensitive to the needs of the Church AND those that live nearby. I appreciate the work you are doing to help preserve this special, historic place in our town so that all locals and visitors alike can see and learn our history.	1
Preserving the story of history and historical sites is important. Leaving lessons for all generations.	1
Parking. parking. parking is always a problem in Middleburg except at the new Town Hall	1
none	1

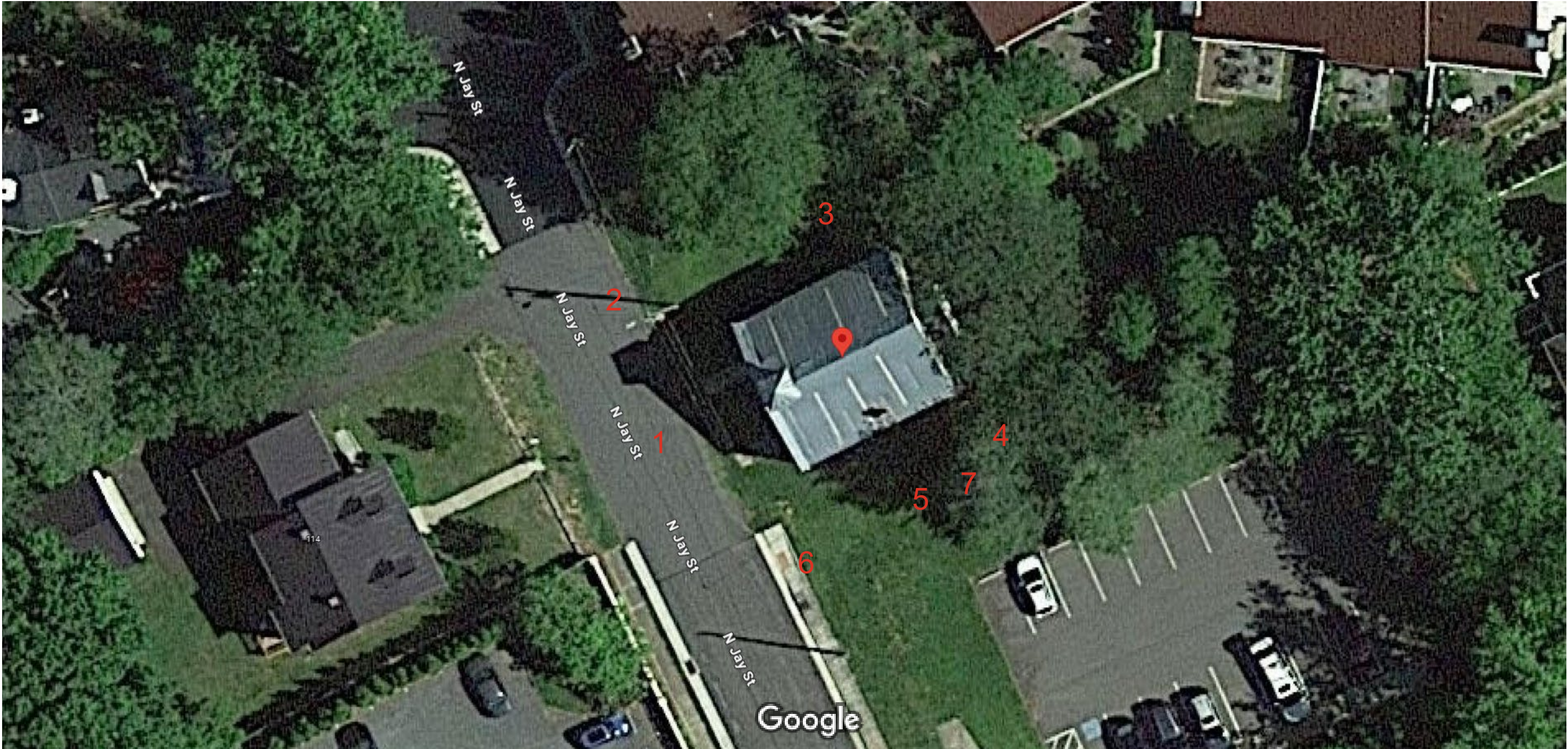
Let it always be a place of God's grace and mercy	1
Its on a very residential street so maintaining it to conform to residential expectations is a concern of mine	1
It is essential that the building stays consistent physically with its historic representation one every way. Integrating a museum focused on Bureaus corner history and the evolution of Middleburg would be of great value. Opening it as a theatre and even having a local theatre group form to create performances would be ideal. Parking would need to be in the public parking lots already in existence so as not to disturb local residents.	1
Is there a basement beneath the building? Is it usable?	1
I'm so glad thhe proces of restoring this beautiful building has begun.	1
I wonder if Salamander would be interested in staging performances or mounting exhibits there with an emphasis on either African-American themes? Or would that create backlash? The music choices at the NSLM and the MCC in the summer and for the 4th of July tend to be pretty (for want of a better word) white. Just to be clear about #11, I have no opinion regarding changes to the exterior of the building, if changes are needed.	1
I think a stand alone Museum of the Black History of our town would be ideal, but even if it was not solely a museum, there should be information about the history, etc. Using QR codes is always a great way to offer info with the least amount of space.	1
I see this as an opportunity for the town to express its desire for inclusion of Black History in Middleburg's History. The plight of African Americans in VA was not an easy one and this would be an opportunity to share some of that history with locals and visitors, while letting everyone know that Middleburg is the kind of place where difficult times are acknowledged and moving forward together is a viable option and denial of history is not.	1
I recommend a section of wall be left unplastered so visitors can see the beautiful underlying stone structure. Likewise, a section of the ceiling beam structure should be visible. I would like to see all the options in Question 6 made available.	1
I really appreciate that the Town of Middleburg bought Asbury Church to restore and has engaged in this community process to determine how best to maintain and use it.	1
I live closeby, but want to honor the legacy and history of the church without creating a big disruption in the neighborhood	1

I have been deeply involved in the development of a branch of the Virginia Museum of Natural History to be built in Waynesboro, Va and slated to open in 2026.	1
I believe this is a wonderful opportunity to honor the history of Blacks in Middleburg and Loudon, and to educate all regarding the desegregation of our town	1
I am so impressed with the care and consideration of the city as it regards this project. I live in the historical district and feel strongly we need to preserve and protect Jay St./ Marshall St. area as a quiet and much loved residential area. The Loudon Construction company does not belong in its current location. There are homes that are a blight on these streets that city ordinances could better control (i.e. parking of non-working vehicles outside homes)	1
I am pleased to see the Town of Middleburg take on the interest of this historic church. The Town has a rich Black History that most do not know.	1
Asbury Church should be a beautiful gem in our community highlighting its black history & Middleburg history. The neighborhood surrounding the church is a QUIET residential community which should be kept in mind. No evening open hours or events. Drainage & landscaping should also be addressed. Thank you!	1
After the meeting on September 11 and the discussion about the installation of an elevator to meet ADA rules, I wanted to say that I do not see any need for the general public to go up into the balcony area either by the steps or elevator. It is so beautiful to look at from the main floor, but I do not feel that general access to it is necessary. I also think access may prove to be a very big liability to the town since a person could fall over the railing.	1
A very decent building that has served the community well in its past- surely there must be something better to be done with it than to let it rot away. What does the Afro-American surrounding neighborhood think? What does the powers that be of its original church (Baptist? Methodist? etc?) think?	1

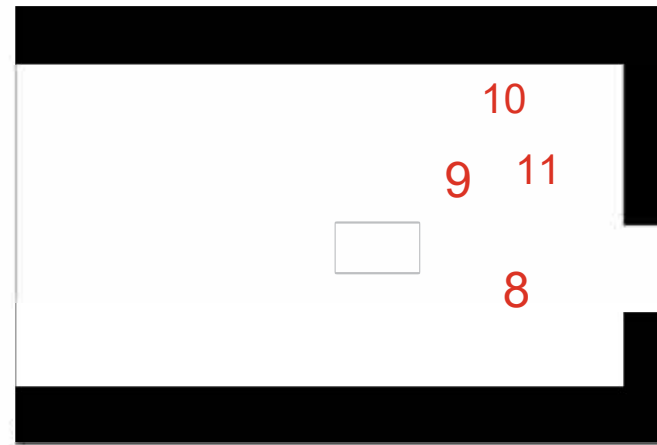
Answered: 32 Skipped: 53

B. July 2024 Photo Key and Log

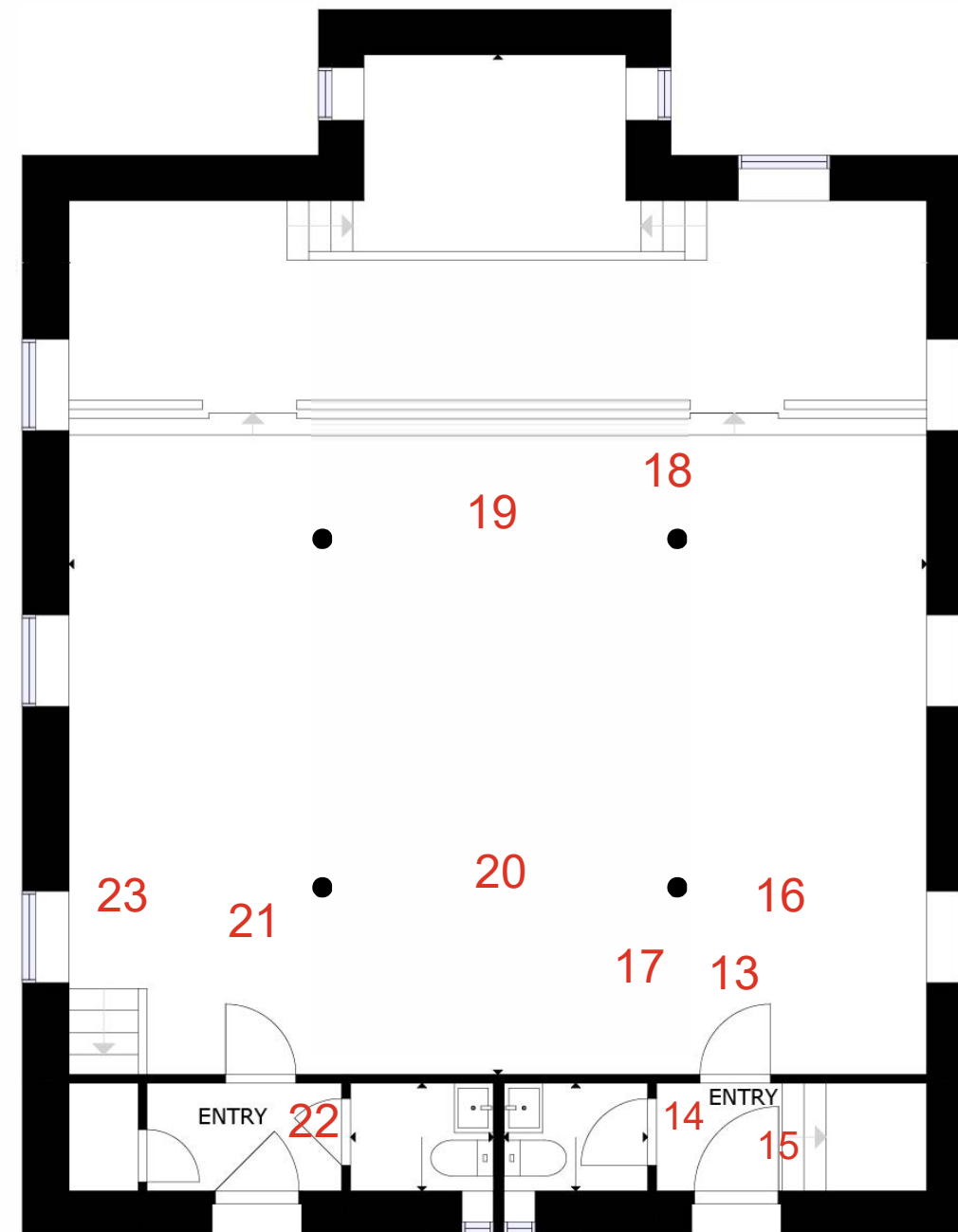
105 N Jay St
Asbury Church Exterior Photo Key



Map data ©2024 , Map data ©2024 Google 20 ft



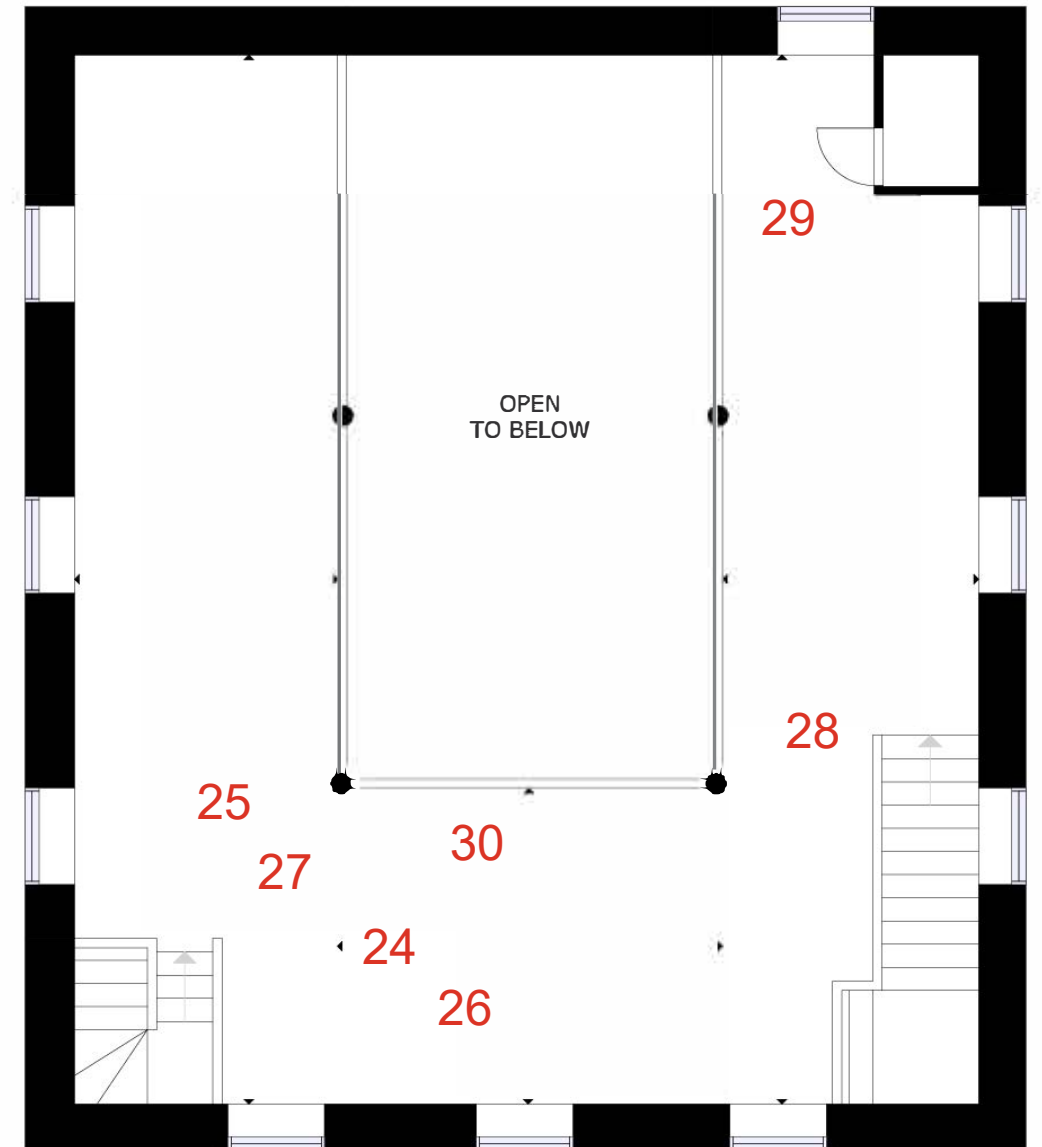
BASEMENT 1



FLOOR 1

RESTROOM
5'4" x 4'0"

RESTROOM
5'4" x 4'0"



FLOOR 2

GROSS INTERNAL AREA
FLOOR 1: 1236 sq.ft, FLOOR 2: 856 sq.ft
TOTAL: 2092 sq.ft

SIZES AND DIMENSIONS ARE APPROXIMATE, ACTUAL MAY VARY.



Photo 1 – Façade, West elevation



Photo 2 – North and West elevations



Photo 3 – North and East elevations



Photo 4 – East elevation



Photo 5 – South elevation



Photo 6 – West and South elevations



Photo 7 – Basement door



Photo 8 – Basement



Photo 9 – Basement



Photo 10 – Basement



Photo 11 – Basement



Photo 12 – First floor, entryway



Photo 13 – First floor, entryway



Photo 14 – First floor, bathroom



Photo 15 – First floor, stairway to gallery



Photo 16 – First floor, nave



Photo 17 – First floor, nave



Photo 18 – First floor, pulpit



Photo 19 – First floor, nave



Photo 20 – First floor, nave



Photo 21 – First floor, entryway



Photo 22 – First floor, bathroom



Photo 23 – First floor, stairway to gallery



Photo 24 – Gallery, stairway to first floor



Photo 25 – Gallery



Photo 26 – Gallery



Photo 27 – Gallery



Photo 28 – Gallery



Photo 29 – Gallery, closet



Photo 30 – Gallery, view of pulpit

C. Resources for Future Rehabilitation Project

NPS Preservation Briefs

1. [The Repair of Historic Wooden Windows](#). John H. Myers. Provides information on evaluating the condition of historic wood windows and on practical methods for repair. 1981.
2. [Architectural Character—Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character](#). Lee H. Nelson, FAIA. Essential guidance to help property owners and architects identify those features of historic buildings that give the building its visual character so that their preservation can be maximized in rehabilitation. 1988.
3. [Rehabilitating Interiors in Historic Buildings—Identifying Character-Defining Elements](#). H. Ward Jandl. Assists building owners in identifying significant interior spaces, features, and finishes so they may be preserved in rehabilitation work. Applies to all building types and styles, from 18th century churches to 20th century office buildings. 1988.
4. [Repairing Historic Flat Plaster—Walls and Ceilings](#). Marylee MacDonald. Guides building owners on repairing historic plaster using traditional materials (wet plaster) and techniques. Suggests replacement options if the historic plaster is severely deteriorated. Useful chart on various plaster bases and compatible basecoats and finish coats. 1989.
5. [The Preservation and Repair of Historic Stucco](#). Anne E. Grimmer. Describes the evolution of stucco as a building material, beginning with a brief history of how stucco is applied, and how its composition, texture, and surface patterns have changed. Includes guidelines on how to plan for and carry out repair of historic stucco, with sample mixes for 18th, 19th, and 20th century stucco types. 1990.
6. [Heating, Ventilating, and Cooling Historic Buildings: Problems and Recommended Approaches](#). Sharon C. Park, AIA. Underscores the importance of careful planning in order to balance preservation objectives with the interior climate needs of the building. 1991.
7. [Making Historic Properties Accessible](#). Thomas C. Jester and Sharon C. Park, AIA. Introduces the complex issue of providing accessibility at historic properties, and underscores the need to balance accessibility and historic preservation. Provides guidance and many examples of successful projects. 1993.
8. [Maintaining the Exterior of Small and Medium Size Historic Buildings](#). Sharon Park, FAIA. Discusses the benefits of regular inspection, monitoring, and seasonal maintenance work for historic buildings. Provides guidance on maintenance treatments for historic building exteriors. 2006. GPO stock number 024-005-01252-4
9. [Building Codes for Historic and Existing Buildings: Planning and Maximizing their Application](#). Discusses how to meet the goals of building codes while preserving or minimizing alterations to the character-defining features, spaces, materials, and finishes of historic buildings; provides guidance for selecting the optimal code compliance method and suggests best practices for achieving code-compliant solutions that also allow for the preservation of a building's historic character. Marilyn E. Kaplan, Architect, FAPT. 2024.
10. [Significant Spaces: Preserving Historic Church Interiors](#)

D.Engineering Recommendations
from Town Consultant

ASBURY CHURCH – PHASE II
RESTORATION and STABILIZATION PROJECT
105 NORTH JAY STREET
MIDDLEBURG, VIRGINIA 20117
PRESERVATION AND STABILIZATION PLAN

List Of Structural Drawings

SHT. CS:	COVER SHEET
SHT. NOTES 1:	GENERAL NOTES & LOAD CRITERIA
SHT. NOTES 2:	CONSTRUCTION NOTES
SHT. PLAN 1:	MAIN LEVEL & CELLAR AREA FRAMING PLANS
SHT. ELEVATION 1:	FRONT ELEVATION (WEST)
SHT. ELEVATION 2:	SIDEWALL ELEVATION (NORTH)
SHT. ELEVATION 3:	REAR ELEVATION (EAST)
SHT. ELEVATION 4:	SIDEWALL ELEVATION (SOUTH)
SHT. DETAILS 1:	CELLAR AREA: "L"-WALL RETAINING WALL DETAIL
SHT. DETAILS 2:	STRUCTURAL REPAIR & REINFORCEMENT DETAILS



DESIGNER: PAINTER-LEWIS, P.L.C. Consulting Engineers 817 CEDAR CREEK GRADE, SUITE 120 WINCHESTER, VA 22601 (540) 662-5792	PROJECT: ASBURY CHURCH 105 NORTH JAY STREET MIDDLEBURG, VA 20118	DATE: 06-01-23
		SCALE: 1/8"=1'-0"
		PLATE: COVERSHEET
P-L PROJECT NO.: 2212009		

PROJECT OVERVIEW:

ASBURY CHURCH – PHASE II RESTORATION and STABILIZATION PLAN:

THIS PROJECT DETAILS THE SCOPE OF WORK TO BE DONE FOR THE CONTINUATION OF THE RESTORATION AND STABILIZATION OF THE ASBURY CHURCH STRUCTURE, LOCATED AT 105 NORTH JAY STREET, MIDDLEBURG, VIRGINIA WHICH IS SITUATED WITHIN THE MIDDLEBURG, VIRGINIA TOWN LIMITS.

– THE EXISTING ROOFING SYSTEM, GUTTER AND DOWNSPOUT SYSTEM, ROOF STRUCTURAL SYSTEM, AND CUPOLA WERE ADDRESSED DURING THE INITIAL PHASE OF THIS PROJECT. A SERIES OF POST–INSTALLATION INSPECTIONS REVEALED THAT THE WORK WAS DONE IN ACCORDANCE WITH THE ORIGINAL STABILIZATION PLANS; AND THESE PORTIONS OF THE BUILDING ARE SOUND AND FUNCTIONING PROPERLY.

– THE MAIN WOOD, ROOF BENTS AND CEILING JOIST ASSEMBLIES WERE ADDRESSED DURING THIS PHASE, AS WELL. THESE SYSTEMS WERE REINFORCED, REPAIRED, AND RECONNECTED IN ACCORDANCE WITH THE DESIGN PLANS AND APPEAR TO BE SOUND AND FUNCTIONAL. THERE WERE NO SIGNS OF UNDUE MOVEMENT OR STRESS AND THE CONNECTIONS REMAIN SECURE.

– THE WINDOWS IN THE MAIN SANCTUARY PORTION OF THIS BUILDING WERE REPAIRED AND SECURED DURING THE INITIAL PHASE, AS WELL. THIS WORK INCLUDED REPAIR OF THE WOOD HEADER SYSTEM ABOVE THE WINDOWS THAT HAD BEEN COMPROMISED. THESE WINDOW ASSEMBLIES APPEAR TO SOUND, TIGHT, AND FUNCTIONAL.

– THERE WERE NO SIGNS OF WATER INFILTRATION OR DETERIORATION IN THE ROOFING OR WINDOW ASSEMBLIES. THE INTERIOR PORTION OF THE BUILDING IS DRY AND SECURE FROM DAMAGE FROM THE ELEMENTS AND PEST INFESTATION.

– THESE WERE THE MAIN CONCERNS AND ISSUES THAT WERE ADDRESSED DURING THE PHASE I RESTORATION AND STABILIZATION OF THIS FACILITY. DUE TO THE WORKING BUDGET THE SCOPE OF WORK WAS REDUCED TO THESE ITEMS TO ENSURE THAT THE BUILDING COULD BE WATER AND AIR TIGHT, WHICH HAS BEEN ACHIEVED.

– PHASE II OF THIS PROJECT SHALL ADDRESS THE REMAINDER OF THE NEEDED REPAIRS AND STABILIZATION, SO THAT AN EVENTUAL END USER MAY BE FOUND TO RENOVATE THIS SPACE, TO THEIR SPECIFICATIONS AND REQUIREMENTS, FOR OCCUPANCY OF THIS BUILDING.

– THE REMAINDER OF THE WINDOWS AND SUPPORT HEADERS SHALL BE REPAIRED OR REPLACED, AS NEEDED, FOR THE SECURITY AND SOUNDNESS OF THIS BUILDING. THE WINDOWS IN NEED OF REPAIR ARE GENERALLY IN THE PULPIT AREA AND REAR WALL OF THE STRUCTURE.

– THE FLOOR SYSTEMS NEED TO BE REINFORCED, AS NEEDED, FOR FUTURE USE. THE EXISTING SHEATHING SHOULD BE REMOVED, THE JOISTS REINFORCED OR REPLACED, AS NEEDED, AND THE ORIGINAL FLOORING INSTALLED AND RESTORED FOR USE.

– THE EXISTING OIL TANK AND OBSOLETE HVAC SYSTEM MUST BE REMOVED AND DISPOSED OF PROPERLY OFFSITE. THE SOIL AROUND THE TANK MUST BE TESTED FOR CONTAMINATED MATERIAL AND REMOVED AND DISPOSE OF PROPERLY. ALL ELECTRICAL WORK MUST BE REMOVED AND REINSTALLED.

– THE "L"–WALL RETAINING WALL SYSTEM WITH A SLAB–ON–GRADE FLOOR SYSTEM MUST BE INSTALLED IN THE CELLAR AREA. THE STABILIZATION AND INTERIOR GRADING OF THIS AREA CAN THEN BE DONE. ADDITIONALLY, THE CELLAR DOOR SHALL BE REMOVED AND REPLACED, AS NEEDED.

– THE EXTERIOR STUCCO FINISH SHALL BE REMOVED, AS NEEDED, AND REPLACED TO MATCH ITS ORIGINAL FINISH AND CONSISTENCY.

– THE EXTERIOR GRADING SHALL BE DONE TO PROMOTE POSITIVE DRAINAGE AWAY FROM THE WALL SYSTEM AND TO ENSURE THAT THE SURFACE WATER DISCHARGES IN A PROPER MANNER AROUND AND AWAY FROM THIS STRUCTURE.

GENERAL NOTES & LOAD CRITERIA:

- A. GENERAL:
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE VIRGINIA STATEWIDE UNIFORM BUILDING CODE, THE 2018 INTERNATIONAL BUILDING CODE AND THE STANDARDS AND SPECIFICATIONS OF THE COUNTY OF LOUDOUN, VIRGINIA.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY "MISS UTILITY" BY TELEPHONE AT 811 AT LEAST TWO (2) WORKING DAYS BUT NOT MORE THAN TEN (10) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES.
3. THE CONTRACTOR SHALL BE LICENSED IN THE COMMONWEALTH OF VIRGINIA IN ACCORDANCE WITH CHAPTER 11 OF TITLE 54.1 OF THE CODE OF VIRGINIA. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN WORKMAN'S COMPENSATION INSURANCE AND CONTRACTORS GENERAL LIABILITY COVERAGE. A CERTIFICATE OF INSURANCE SHALL BE SUBMITTED TO THE OWNER.
4. ALL WORK SHALL BE PERFORMED IN AN EXPEDITIOUS AND WORKMANLIKE MANNER AND IN ACCORDANCE WITH ALL GENERALLY ACCEPTED TRADE PRACTICES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN A CLEAN AND ORDERLY SITE THROUGHOUT THE CONSTRUCTION PROCESS.
5. THESE STRUCTURAL DRAWINGS SHALL BE READ IN CONCERT WITH ALL OTHER CONTRACT DOCUMENTS AND SPECIFICATIONS.
6. EVERY EFFORT HAS BEEN MADE TO VERIFY THE DIMENSIONS AND ENSURE THE ACCURACY OF THESE PLANS. HOWEVER, THE CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO THE CONSTRUCTION PROCESS AND IF ANY DISCREPANCIES DO EXIST, THEN THE PROJECT ENGINEER OR THE REPRESENTATIVE OF THE TOWN OF MIDDLEBURG, VIRGINIA SHALL BE NOTIFIED BEFORE THE NECESSARY ADJUSTMENTS ARE MADE.
7. DO NOT SCALE THE DRAWINGS. THE DIMENSIONS INDICATED ON THE PRINTS SHALL CONTROL.
8. THE TYPICAL DETAILS PROVIDED ON THESE DRAWINGS ARE TO DESCRIBE THE CONSTRUCTION STANDARDS TO BE APPLIED FOR THIS PROJECT. THE DETAILS MAY BE ADJUSTED, AS REQUIRED, TO ACCOUNT FOR VARYING CONDITIONS IN THE FIELD. SIGNIFICANT ADJUSTMENTS MUST BE PRESENTED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY INSTALLATION OR FABRICATION. ALL TYPICAL DETAILS SHALL BE REVIEWED BY THE CONTRACTOR AND APPROPRIATE SUBCONTRACTORS PRIOR TO ANY DETAILING, FABRICATION, AND/OR INSTALLATION. ANY CONFLICTS OR CLARIFICATIONS SHALL BE RESOLVED BEFORE THE COMMENCEMENT OF WORK.
9. IF APPLICABLE, SHOP DRAWINGS OF ALL PRE–ENGINEERED STRUCTURAL COMPONENTS SHALL BE SUBMITTED FOR REVIEW PRIOR TO ANY FABRICATION OR INSTALLATION.
10. COORDINATE SIZE AND INSTALLATION OF ALL OPENINGS, SLEEVES, INSERTS, TIES, EQUIPMENT PADS, EQUIPMENT SUPPORTS, ETC. WITH APPROPRIATE TRADES AND CONTRACT DRAWINGS PRIOR TO INSTALLATION OR FABRICATION.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION OF ALL O.S.H.A. STANDARDS, SO THAT THE CONSTRUCTION SITE IS SECURE AND THAT THE SAFETY OF THE PUBLIC AND ALL PARTIES INVOLVED IN THE CONSTRUCTION PROCESS IS PRESERVED.
12. ADEQUATE TEMPORARY SUPPORT STRUCTURES, SUCH AS SHEETING, SHORING, AND BRACING, SHALL BE INSTALLED DURING CONSTRUCTION UNTIL THE WIND RESISTING SYSTEMS ARE IN PLACE AND THE SUPPORTING DIAPHRAGMS ARE IN PLACE AND HAVE ATTAINED 75% STRENGTH. SHORING AND BRACING SHALL RESIST FORCES SUCH AS WIND AND UNBALANCED LOADING DUE TO CONSTRUCTION. BRACING SYSTEMS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE COMMONWEALTH OF VIRGINIA. IMPOSED CONSTRUCTION LOADS IN EXCESS OF THE STATED DESIGN LOADS MUST BE APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO PLACING OF SUCH LOADS.
13. IF APPLICABLE, BOTH SIDES OF THE FOUNDATION WALL SHALL BE BACKFILLED SIMULTANEOUSLY SO AS TO PREVENT OVERTURNING OR LATERAL MOVEMENT OF THE WALLS. NO FOUNDATION WALLS SHALL BE BACKFILLED WITHOUT THE FLOOR DIAPHRAGM AND BASEMENT SLAB BEING CONSTRUCTED IN PLACE AND SECURE.

- B. DESIGN CRITERIA:
1. CODES: (USE LATEST EDITIONS U.N.O.)
- a. INTERNATIONAL BUILDING CODE (2018).
- b. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI–318)
- c. AISC MANUAL OF STEEL CONSTRUCTION (AISC–13th EDITION).
- d. BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES. (ACI 530–08/ASCE 5–08/TMS 402–08)
2. LIVE LOADS:
- ROOF LOAD 30.0 PSF (MINIMUM)
- CEILING LOADS: 10.0 PSF (LIMMITTED TO 10 PSF)
- FLOOR LOADS 100.0 PSF (ASSEMBLY AREA)
- 80.0 PSF (BALCONY ASSEMBLY AREAS)**
- ** OCCUPANCY LIMITATION FOR LOAD REDUCTION
- DEAD LOADS:
- ACTUAL MATERIAL WEIGHTS
- ROOF DIAPHRAGM: 8.50 PSF
- CEILING LOADS: 20.0 PSF
- BALCONY FLOOR DIAPHRAGM: 25.0 PSF
- MAIN FLOOR DIAPHRAGM: 18.0 PSF
3. WIND LOAD:
- BASIC WIND SPEED 115 MPH
- IMPORTANCE FACTORS 1.0
- EXPOSURE B
4. SNOW LOAD:
- MEAN GROUND SNOW LOAD 30.0 PSF*
- SNOW EXPOSURE FACTOR 0.7
- SNOW IMPORTANCE FACTOR 1.0
- *ADJUST FOR SNOW ACCUMULATION, IF APPLICABLE.
5. EARTHQUAKE LOAD:
- SHORT PERIOD SPECTRAL RESPONSE
- ACCELERATION (SDS) 0.135
- 1 SECOND PERIOD SPECTRAL
- RESPONSE ACCELERATION (SD1) 0.084
- SOIL SITE CLASS D
- SEISMIC HAZARD EXPOSURE GROUP II
- SEISMIC PERFORMANCE CATEGORY B
- REQUIRED TO COMPLY WITH SECTION 1616.2.1 ONLY

6. FOUNDATION DESIGN WAS ESTABLISHED BASED UPON THE BEST AVAILABLE GEOTECHNICAL INFORMATION OBTAINED ABOUT THE SITE. NO FORMAL SOILS REPORT WAS PREPARED FOR THIS SITE.
7. TO VERIFY COMPLIANCE WITH THE DESIGN RECOMMENDATIONS OF THIS PROJECT, ALL FOOTING EXCAVATIONS SHALL BE INSPECTED BY A LICENSED GEO–TECHNICAL ENGINEER OR CERTIFIED INSPECTOR, PRIOR TO PLACEMENT OF THE CONCRETE. FOR THIS PROJECT A SOIL BEARING CAPACITY OF 2500 PSF WAS USED. IF THE SOIL BEARING CAPACITY IS FOUND TO BE LESS THAN THE ASSUMED DESIGN VALUE, THEN THE FOOTINGS MUST BE REDESIGNED ACCORDINGLY.
8. A MINIMUM FROST DEPTH OF 24" SHALL BE MAINTAINED FOR THIS PROJECT AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT OF LOUDOUN COUNTY, VIRGINIA.
9. THIS OBJECTIVE OF THESE PLANS AND THIS PROJECT IS TO PRESERVE THE EXISTING ASBURY CHURCH FOR FUTURE USE. THE PLANS HAVE BEEN DEVELOPED TO SEAL THE STRUCTURE FROM ANIMALS, PESTS, WATER INFILTRATION, AND EXPOSURE TO THE ELEMENTS. THE STRUCTURE IS TO BE STABILIZED, SEALED, AND CLEANED. ALL DAMAGED MATERIALS, DEBRIS, AND ORGANIC MATERIALS SHALL BE FULLY REMOVED. AFTER CONSTRUCTION, THE STRUCTURE SHALL BE BROOM CLEANED ON ALL LEVELS. THIS PLAN IS NOT TO SERVE AS THE PLAN FOR THE RENOVATION OF THIS SPACE FOR FUTURE USE. IT SHALL ONLY SERVE TO PRESERVE THIS STRUCTURE UNTIL THE COMPLETE RENOVATION CAN BE DESIGNED AND CONSTRUCTED.

ABBREVIATIONS:

- | | |
|-------------|-------------------------------|
| © | AT |
| # | NUMBER |
| ∅ | DIAMETER |
| d (16d) | PENNY (16 Penny Nails) |
| CMU | CONCRETE MASONRY UNIT |
| CONC. | CONCRETE |
| EX. | EXISTING |
| ML or M=L | MICRO=LAM |
| O.C. | ON CENTER |
| PR. | PROPOSED |
| R or (R) | ROUGH (Rough Cut Member) |
| SPF #2 | SPRUCE–PINE–FIR, GRADE 2 |
| SYP #2 | SOUTHERN YELLOW PINE, GRADE 2 |
| TYP. (Typ.) | TYPICAL |
| WWM | WELDED WIRE MESH (FABRIC) |

TITLE:		GENERAL NOTES AND LOAD CRITERIA	
DESIGNER: PAINTER-LEWIS, P.L.C. Consulting Engineers 817 CEDAR CREEK GRADE, SUITE 120 WINCHESTER, VA 22601 (540) 662-5792	PROJECT: ASBURY CHURCH 105 NORTH JAY STREET MIDDLEBURG, VA 20118	DATE:	06-01-23
		SCALE:	1/8"=1'-0"
		PLATE:	NOTES - 1
		P-L PROJECT No.: 2212009	

CONSTRUCTION NOTES:

- C. CONCRETE:
1. CONCRETE USED FOR THIS PROJECT SHALL MEET OR EXCEED THE FOLLOWING COMPRESSIVE STRENGTH AT 28 DAYS:
- | | |
|-----------------------------|---------------------|
| FOUNDATION FOOTINGS & WALLS | 3000 psi NORMAL WT. |
| SLAB—ON—GRADE (INTERIOR) | 3000 psi NORMAL WT. |
| SLAB—ON—GRADE (EXTERIOR) | 3500 psi NORMAL WT. |
| ELEVATED SLABS | 3000 psi NORMAL WT. |
| MASONRY GROUT | 2000 psi NORMAL WT. |
| BOND BEAM GROUT | 2000 psi NORMAL WT. |
2. ALL CONCRETE SUBJECT TO FREEZE/THAW CYCLES SHALL BE AIR ENTRAINED.
3. FOOTINGS MAY BE PLACED DIRECTLY AGAINST THE SOIL WITH ADEQUATE FORMING.
4. CONCRETE SLABS SHALL BE POURED IN A STRIP PATTERN. CONSTRUCTION JOINTS SHALL COINCIDE WITH THE CONTROL JOINTS (INDICATED AS C.J. ON THE PLANS). CONSTRUCTION JOINTS IN THE SLAB SHALL HAVE THE REINFORCING CONTINUE THROUGH THE JOINT U.N.O. IN THE DETAILS.
5. CONTROL JOINTS AND WATER—STOPS SHALL BE INSTALLED, AS NEEDED, IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS, COMMON CONSTRUCTION PRACTICES AND THESE CONSTRUCTION DOCUMENTS.
6. ALL CONTROL JOINTS MAY BE SAW—CUT OR CONSTRUCTED WITH A METAL CONTROL JOINT FORM. CONTROL JOINTS SHALL BE SEALED WITH A SUITABLE JOINT SEALANT.
7. SAW—CUT OR TOOLED CONTROL JOINTS SHALL BE AS DETAILED. SAW—CUTS SHALL BE MADE AS SOON AS PRACTICAL WITHOUT DAMAGING THE FINISHED CONCRETE FLOOR SURFACE (WITHIN 12 HOURS, MAX.)
8. A DIAMOND PATTERN CONTROL JOINT SHALL BE PROVIDED AT ALL ISOLATED COLUMN LOCATIONS, AS INDICATED ON THESE PLANS. THE CORNERS OF THE DIAMOND SHALL COINCIDE WITH THE CONTROL JOINTS, AS SPECIFIED ON THESE PLANS AND BE FILLED WITH 1/2” PREFORMED JOINT FILLER.
9. EXPOSED CONCRETE EDGES SHALL BE BUILT SQUARE AND RUBBED TO A MINIMUM RADIUS CHAMFER, UNLESS SPECIFIC CHAMFERS ARE CALLED FOR IN DETAILS.
10. CONCRETE FORMWORK SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF VIRGINIA.
11. ALL CONCRETE WALLS SHALL BE CONSTRUCTED TO THE NOMINAL DIMENSIONS AS INDICATED ON THE CONSTRUCTION PLANS. THE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 psi AT 28 DAYS AND PLACED WITH A MAXIMUM SLUMP OF 4”. ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE.
12. ALL REINFORCING STEEL SHALL COMPLY WITH ASTM A615, GRADE 60 STEEL. MINIMUM COVER OVER THE STEEL SHALL BE 2” FOR ALL FOUNDATION WALL CONSTRUCTION. ALL REINFORCING STEEL FOR THE WALLS, HEADERS, GIRDERS, ETC. SHALL BE IN PLACE PRIOR TO THE POURING OF THE WALLS. THE REINFORCING STEEL SHALL BE PROPERLY TIED AND LOCATED IN ACCORDANCE WITH THE DESIGN PLANS.
13. INTER—LOCKING METAL FORMS SHALL BE USED FOR THE CONSTRUCTION OF THE CONCRETE WALL SYSTEM. ALL FORMS SHALL BE CLEAN, PLUM, SQUARE AND PROPERLY ALIGNED FOR CONCENTRIC LOADING ON THE WALL FOOTINGS. ALL DOOR AND WINDOW ELEMENTS SHALL BE BOXED—FRAMED INSIDE OF THE FORMWORK TO THE APPROPRIATE HORIZONTAL AND VERTICAL DIMENSIONS WITH PROPER ALLOWANCES MADE FOR THE FRAMEWORK OF THE DOOR AND WINDOW UNITS. THE FORM SYSTEM SHALL BE PROPERLY PREPPED SO AS TO PREVENT ADHESION OF THE CONCRETE TO THE FORMWORK DURING THE CURING PROCESS.
14. ALL THROUGH—WALL PENETRATIONS SHALL BE IN PLACE PRIOR TO THE POURING OPERATION AND PRECAUTIONS SHALL BE TAKEN TO PREVENT FUTURE LEAKAGE IN THE AREAS OF THESE PENETRATIONS (i.e. WATER—PROOF EXPANSIVE FILLER MATERIAL SHALL BE INJECTED INTO THE VOID AREAS OF THE PENETRATION).
15. SEE ARCHITECTURAL, BUILDING, MECHANICAL AND PLUMBING DRAWINGS FOR LOCATIONS OF OPENINGS AND SLEEVES. DO NOT CUT REINFORCEMENT.

- D. REINFORCEMENT:
1. ALL REINFORCING STEEL SHALL BE DEFORMED BARS IN ACCORDANCE WITH ASTM A615 SPECIFICATIONS, GRADE 60.
2. WELDED WIRE FABRIC REINFORCING SHALL CONFORM TO ASTM A185. THE WELDED WIRE FABRIC SHALL HAVE A MINIMUM STEEL YIELD STRENGTH OF 65,000 psi. (Fy = 65,000 psi).
3. MAINTAIN MINIMUM CONCRETE COVERAGE FOR REINFORCING AS SPECIFIED IN ACI—318.
- | | |
|---|--|
| CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: | 3” |
| CONCRETE EXPOSED TO EARTH OR WEATHER: | 2” (NO. 6 THROUGH NUM. 8 BARS) |
| | 1–1/2” (NO. 5 BAR, W31 OR D31 WIRE OR SMALLER) |
- CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT w/ GROUND – SLABS, WALLS & JOISTS: 3/4” (NO. 11 BARS & SMALLER)
4. ALL CONTINUOUS REINFORCING IN FOOTINGS SHALL BE LAP—SPliced 2’–0”. ALL OTHER SPLICES SHALL BE CLASS B TENSION, 32” LAP (MIN.), U.N.O.
5. DETAILING, FABRICATION, AND INSTALLATION OF REINFORCING BARS SHALL COMPLY WITH THE ”DESIGN HANDBOOK OF THE CRSI” AND THE MANUAL OF STANDARD PRACTICE OF THE ACI.
6. PROVIDE DOWELS TO MATCH REINFORCEMENT IN ALL WALLS, PIERS, COLUMNS, AND FOUNDATIONS.
7. ALL PEDESTALS OR HOLES IN THE CONCRETE SLAB SHALL HAVE, ADDITIONALLY, (2) #4 x (OPENING DIM. + 2 FT.) ALONG EACH SIDE OF OPENING AND (2) #3 x 2’–0” DIAGONALLY AT EACH PEDESTAL CORNER.

- E. MASONRY:
1. ALL MASONRY CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE STANDARDS AND SPECIFICATIONS OF THE MASONRY STANDARDS JOINT COMMITTEE.
2. CONCRETE MASONRY UNITS (CMU) SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1500 psi @ 28 DAYS.
3. THE MINIMUM CMU PRISM STRENGTH SHALL BE 1900 psi. (F’m=1900 psi).
4. THE BLOCK MORTAR SHALL BE TYPE ”M” MORTAR FOR ALL MASONRY MATERIALS BELOW GRADE AND ALL OTHER MORTAR SHALL BE TYPE ”S” IN ACCORDANCE WITH ASTM C270.
5. THE CMU SHALL BE REINFORCED WITH STEEL REINFORCING BARS THAT COMPLY WITH ASTM A615 GRADE 60 STEEL. TYPICALLY, THE HORIZONTAL JOINT REINFORCEMENT OF THE CMU SHALL CONSIST OF TRUSS TYPE WELDED WIRE, 9 GAUGE, PLACED IN EVERY OTHER COURSE. MORTAR JOINTS SHALL BE UNIFORM 3/8” THICK JOINTS AS REQUIRED FOR COURSING.
6. FULLY GROUT AND REINFORCE, AS SPECIFIED, ALL POINTS OF BEARING IN THE CMU WALLS. ALL GROUT SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2000 psi AT 28 DAYS.
7. IF APPLICABLE, ALL MASONRY BOND BEAMS SHALL BE GROUTED SOLID WITH 2000 psi CONCRETE GROUT.
8. ALL MASONRY BELOW GRADE SHALL BE GROUTED SOLID AT POINTS OF BEARING AND WHERE REINFORCED.
9. SOLID MASONRY PIERS, IDENTIFIED AS SMP ON PLAN, SHALL BE GROUTED SOLID FULL HEIGHT OF WALL TO FOUNDATION.

- F. WOOD:
1. THE CONTRACTOR SHALL PROVIDE ALL WOOD NAILS, BOLTS, SCREWS, FRAMING ANCHORS, CONSTRUCTION ADHESIVES, ETC., AS NEEDED, TO PERFORM THE ROUGH AND FINISH CARPENTRY FOR THIS PROJECT.
2. ALL INTERIOR FRAMING DIMENSIONS ARE FROM FACE TO FACE OF THE ACTUAL FRAMING LUMBER.
3. ALL FRAME WALLS SHALL BE CONSTRUCTED WITH 2x4 OR 2x6 NOMINAL WOOD STUDS, AS INDICATED ON THE PLANS, WITH A DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE OR AS SPECIFIED ON THE PLANS. THE SPACING OF THE WOOD STUD MEMBERS SHALL BE AS SPECIFIED ON THE PLANS. ALL WOOD MATERIALS WHICH ARE IN CONTACT WITH CONCRETE, MASONRY, STEEL, EARTH, ETC. SHALL BE A WOOD PRESERVATIVE, PRESSURE TREATED MATERIAL. THE TREATMENT SHALL BE IN ACCORDANCE WITH AWPA TREATMENT U1, USING A WATERBORNE PRESERVATIVE WITH 0.25 PERCENT TYPICAL RETAINAGE OR A 0.40 PERCENTAGE RETAINAGE FOR MATERIAL IN CONTACT WITH SOIL.
4. UNLESS NOTED OTHERWISE, ALL WOOD STUD FRAMING, JOIST AND RAFTER MEMBERS SHALL BE SPRUCE—PINE—FIR, #2 GRADE (SPF #2) MATERIAL, OR EQUAL, AND SHALL BE FASTENED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (2018), OR AS SPECIFIED ON THESE DRAWINGS. ALL SPRUCE—PINE—FIR FRAMING LUMBER SHALL HAVE A MINIMUM BENDING STRESS (Fb) OF 875 psi, A MINIMUM HORIZONTAL SHEAR STRESS (Fv) OF 135 psi, A MINIMUM COMPRESSIVE STRENGTH PERPENDICULAR TO THE GRAIN (Fc) OF 425 psi AND A MINIMUM MODULUS OF ELASTICITY (E) OF 1400 ksi. SOLID WOOD BLOCKING SHALL BE INSTALLED WHERE REQUIRED FOR STRUCTURAL BRACING, FIRE STOPPING AND DRAFT STOPPING.
5. UNLESS NOTED OTHERWISE, ALL TRUSS MEMBERS SHALL BE SOUTHERN YELLOW PINE #2 GRADE (SYP #2) MATERIAL, OR EQUAL. ALL SOUTHERN YELLOW PINE FRAMING LUMBER SHALL HAVE A MINIMUM BENDING STRESS (Fb) OF 975 psi, A MINIMUM HORIZONTAL SHEAR STRESS (Fv) OF 175 psi, A MINIMUM COMPRESSIVE STRENGTH PERPENDICULAR TO THE GRAIN (Fc) OF 565 psi AND A MINIMUM MODULUS OF ELASTICITY (E) OF 1600 ksi.
6. ALL MICRO=LAM, PARALLAM & PRE—MANUFACTURED TRUSSES, SHALL BE HANDLED, STORED, CUT, AND INSTALLED IN ACCORDANCE WITH THE STANDARDS AND AND SPECIFICATIONS OF THE MANUFACTURER.
7. ALL MICRO=LAM JOIST AND BEAM ELEMENTS SHALL HAVE AN ALLOWABLE BENDING STRESS (Fb) OF 2600 psi, A HORIZONTAL SHEAR STRESS (Fv) OF 285 psi, A COMPRESSIVE STRENGTH PERPENDICULAR TO THE GRAIN (Fc) OF 750 psi AND A MODULUS OF ELASTICITY (E) OF 1900 ksi.
8. FLOOR SHEATHING SHALL BE 23/32” (3/4” NOMINAL) APA RATED STURD—I—FLOOR, OR EQUIVALENT, TONGUE & GROOVE, PLYWOOD. PANELS SHALL HAVE THE LONG DIMENSION ORIENTED ACROSS THREE OR MORE JOISTS AND SHALL BE FASTENED WITH CONSTRUCTION ADHESIVE AND 10d NAILS AT 6” o.c. AT ALL PANEL EDGES AND AT 12” o.c. AT ALL INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES ARE NOT REQUIRED TO BE BLOCKED.
9. EXTERIOR WALLS WITH STUCCO FINISH SHALL BE SHEATHED WITH 23/32” (3/4” NOMINAL) APA RATED EXTERIOR—GRADE SHEATHING. EXTERIOR WALLS WITHOUT STUCCO FINISH SHALL BE SHEATHED WITH THE MINIMUM THICKNESS AS INDICATED ON THE SHEAR WALL SCHEDULE ON THE PLANS. EXTERIOR WALL SHEATHING SHALL BE FASTENED TO WOOD FRAMING AS INDICATED ON THE SHEAR WALL SCHEDULE. UNLESS NOTED OTHERWISE, PANEL EDGES ARE NOT REQUIRED TO BE BLOCKED.
10. ROOF DIAPHRAGMS WITH SUPPORT MEMBERS SPACED AT 16” o.c. OR LESS SHALL BE SHEATHED WITH 15/32” (1/2” NOMINAL) APA RATED EXTERIOR—GRADE SHEATHING, WITH A SPAN RATING OF 24/0 OR BETTER. ROOF DIAPHRAGMS WITH SUPPORT MEMBERS SPACED AT GREATER THAN 16” o.c. SHALL BE 19/32” (5/8” NOMINAL) APA EXTERIOR—GRADE SHEATHING. FASTEN PANELS TO WOOD FRAMING WITH 8d NAILS AT 6” o.c. AT ALL PANEL EDGES AND 12” o.c. AT ALL INTERMEDIATE SUPPORTS. PANELS SHALL HAVE THE LONG DIMENSION ORIENTED ACROSS THREE OR MORE SUPPORT MEMBERS. UNLESS NOTED OTHERWISE, PANEL EDGES ARE NOT REQUIRED TO BE BLOCKED.
11. BUILDING PAPER SHALL BE NO. 30 ASPHALT FELT OR SPUN BONDED POLYETHYLENE. THE AIR INFILTRATION BARRIER SHALL BE TYVEK, OR EQUAL.
12. UNLESS NOTED OTHERWISE, ALL ANCHOR BOLTS SHALL BE 5/8” ø, ALL CARRIAGE BOLTS SHALL BE 1/2” ø AND ALL EXPANSION BOLTS SHALL BE 1/2” ø.

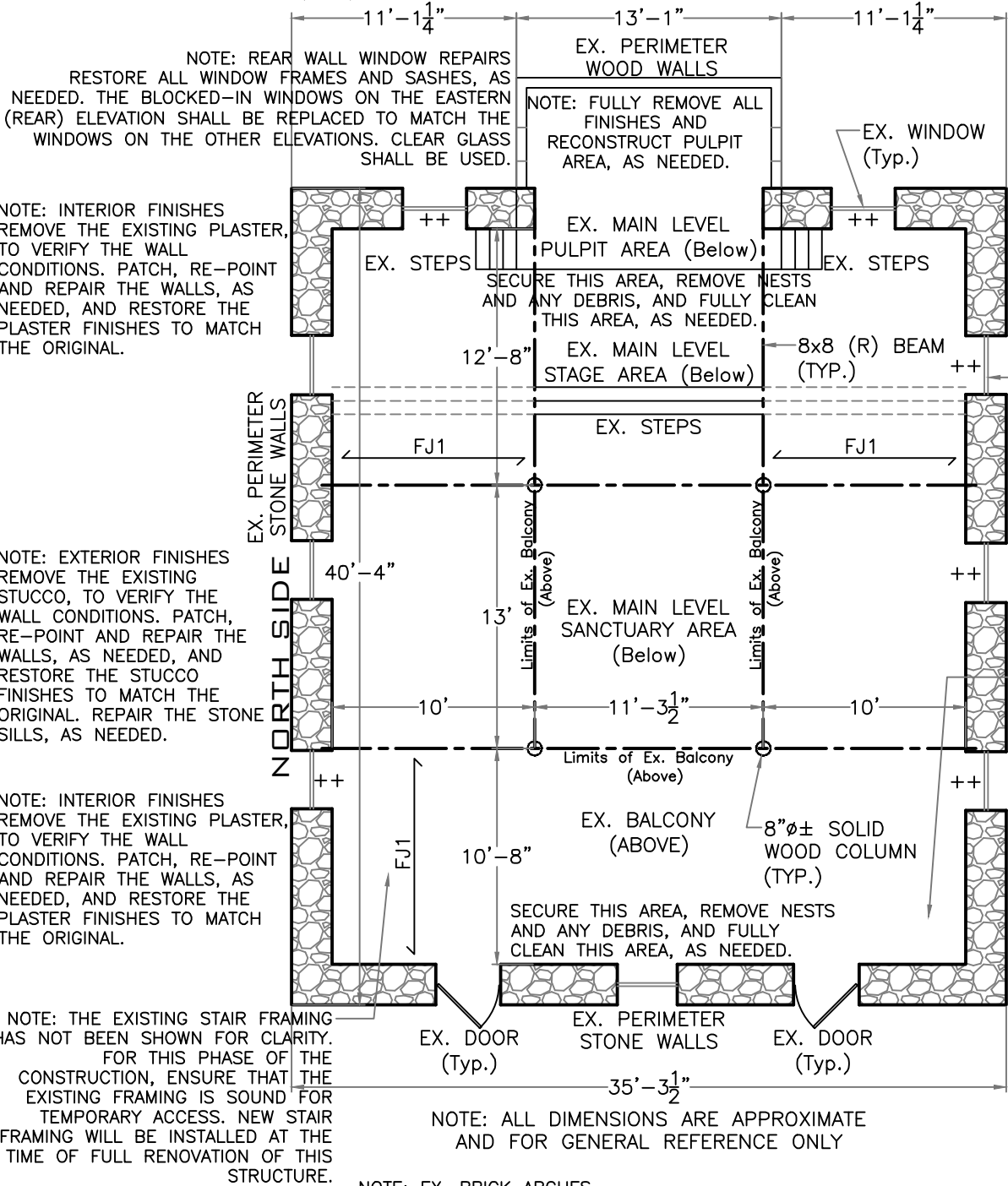
- G. UTILITY SYSTEMS:
1. THE PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS ARE BEYOND THE SCOPE OF SERVICES OF THESE PLANS. SEPARATE DESIGNS AND CONSTRUCTION DRAWINGS SHALL BE DONE BY OTHERS AND SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND PERMITS.

TITLE:	CONSTRUCTION NOTES		
	DESIGNER: PANTER-LEWIS, P.L.C. Consulting Engineers 817 CEDAR CREEK GRADE, SUITE 120 WINCHESTER, VA 22601 (540) 662-5792	PROJECT: ASBURY CHURCH 105 NORTH JAY STREET MIDDLEBURG, VA 20118	DATE: 06–01–23
		SCALE: 1/8”=1’–0”	PLATE: NOTES – 2

P.L. PROJECT No.: 2212009

TOWN OF MIDDLEBURG, VIRGINIA
P. O. BOX 187
MIDDLEBURG, VIRGINIA 20118
(540) 687-5152

NOTES:
FJ1 = 2x8 (R) FLOOR JOISTS @ 24" o.c. (TYP.)
(BALCONY JOISTS APPEAR SOUND, REINFORCE TENONS, AS NEEDED.)
COLUMN HEIGHT = 8'-9" (TYP.)



MAIN LEVEL PLAN AND BALCONY FRAMING

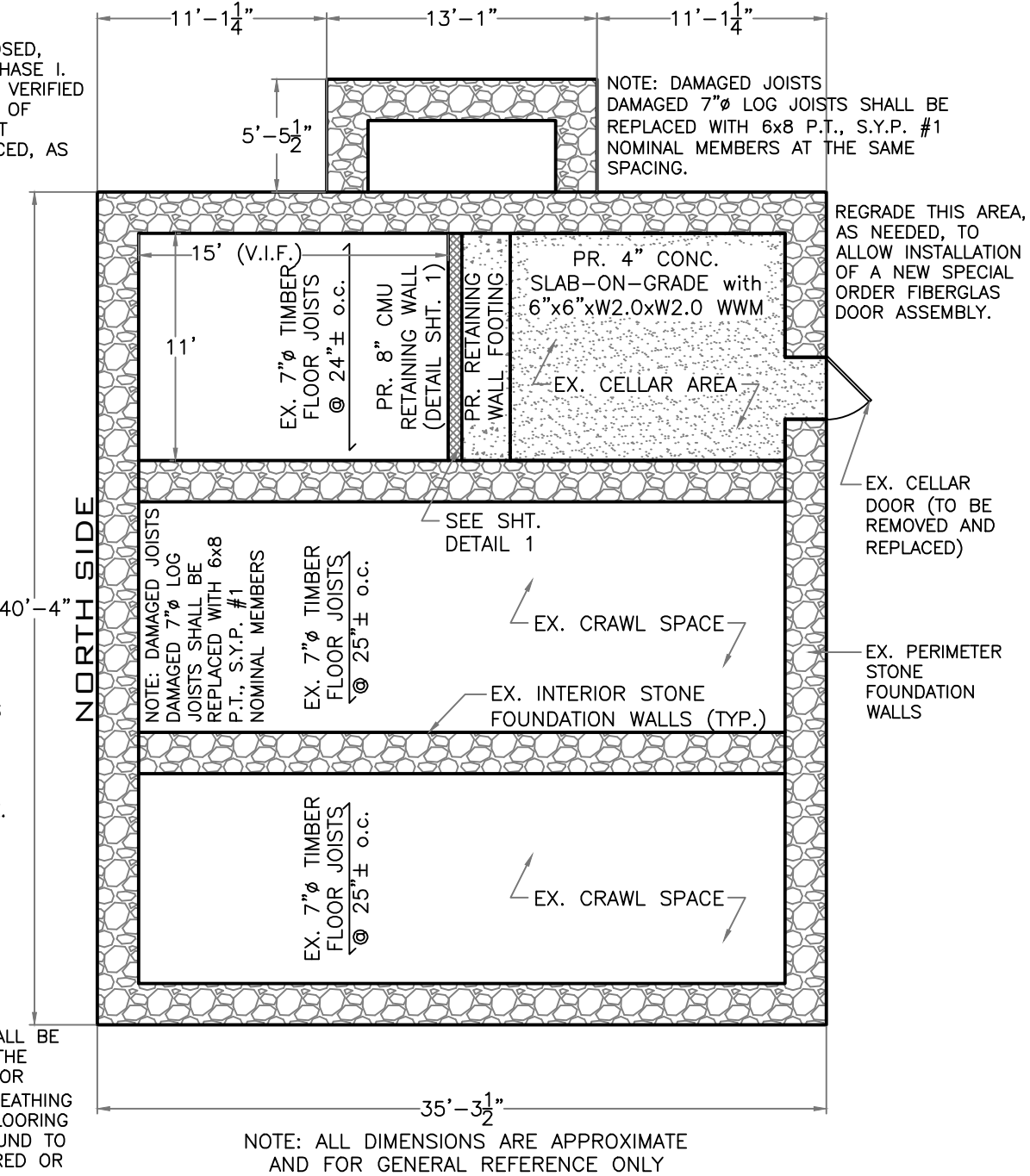
NOTE: FLOOR LOADS
LIVE LOADS:
ASSEMBLY LOADS: 100 PSF
REDUCED LOADS: 80 PSF

DEAD LOADS:
BALCONY FLOOR: 25 PSF
MAIN FLOOR: 18 PSF

NOTE: BALCONY LEVEL LOAD CAPACITY
A LIVE LOAD REDUCTION TO 80 PSF FOR THE BALCONY AREA IS HEREBY REQUESTED.

- THE BALCONY AREA IS 847.11 Sq. Ft. WHICH RESULTS IN A PERMITTED OCCUPANCY OF 121 PERSONS FOR SEATING ONLY. THIS WILL BE REDUCED TO 96 PERSONS (Max.) POSTED OCCUPANCY.

PROJECT:
ASBURY CHURCH
105 NORTH JAY STREET
MIDDLEBURG, VIRGINIA



FOUNDATION LAYOUT & MAIN LEVEL FRAMING PLAN

NOTE: EX. MAIN LEVEL FLOOR JOISTS (LOGS)
REMOVE ALL DAMAGED OR DETERIORATED LOG JOISTS AND REPLACE THEM WITH 6x8 S.Y.P. #1 WOOD MEMBERS AT THE SAME SPACING. AN ALLOWANCE OF 30% FOR THE REPLACEMENT OF THESE MEMBERS SHALL BE USED FOR THIS PROJECT.

TITLE: EXISTING CHURCH: MAIN LEVEL FLOOR & CELLAR AREA PLANS	DATE: 06-01-23	SCALE: 1/8"=1'-0"	PLATE: PLAN -1
	PROJECT: ASBURY CHURCH 105 NORTH JAY STREET MIDDLEBURG, VA 20118		
DESIGNER: PAINTER-LEWIS, P.L.G. Consulting Engineers 817 CEDAR CREEK GRADE, SUITE 120 WINCHESTER, VA 22601 (540) 662-5792	P-L PROJECT NO.: 2212009		



EXISTING CHURCH: FRONT ELEVATION (WEST)

GENERAL EXTERIOR ELEVATION NOTES;

- ENSURE THAT THE WINDOWS ARE SECURE FOR USE.
- ENSURE THAT THE DOORS ARE FUNCTIONING PROPERLY. IF THE DOORS ARE NOT PROPERLY INSTALLED, THEN RE-INSTALL THEM, AS NEEDED, TO ENSURE PROPER CLOSURE AND TO PROMOTE CONTINUED USE. IF NEEDED, PAINT THE DOORS TO MATCH THE EXISTING COLORS FOR PRESERVATION AND GENERAL MAINTENANCE.
- THE EXISTING OIL TANK BY THE CELLAR DOOR SHALL BE REMOVED AND DISPOSED OF PROPERLY OFFSITE. ANY CONTAMINATED SOILS SHALL BE PROPERLY REMOVED. RE-GRADE THE AREA FOR POSITIVE DRAINAGE AWAY FROM THE CHURCH.
- THE LATERAL GRADING AROUND AND AWAY FROM THE CHURCH SHALL BE A MINIMUM OF 6"(Vertical) OVER 10' (Horizontal). THE GRADING OF THE FRONT YARD AREA SHALL BE A MINIMUM OF 2% SLOPE LONGITUDINALLY TO CONVEY THE STORM WATER RUNOFF TO THE SIDE YARDS.

EXTERIOR WALLS & FINISHES NOTES:

- ALL LOOSE AND DAMAGED STUCCO FINISHES SHALL BE REMOVED AND REPLACED TO MATCH THE ORIGINAL SYSTEM. ALL DELETERIOUS MATERIALS SHALL BE REMOVED FROM SITE AND DISPOSED OF PROPERLY.
- MAKE AN ALLOWANCE OF 75% OF THE WALL AREA TO BE REMOVED AND REPAIRED ON EACH ELEVATION. THE REPAIRS SHALL INCLUDE THE REPLACEMENT OF LOOSE OR MISSING STONES IN THE WALL SECTIONS, RE-POINTING OF THE STONE MASONRY WALL STRUCTURE WITH A SIMILAR MORTAR TO MATCH THE EXISTING, AND MATCHING THE STUCCO FINISHES, AS NEEDED, TO ENSURE A STABLE AND WATER TIGHT WALL SECTION.

TITLE: EXISTING CHURCH: FRONT ELEVATION		DATE: 06-01-23
ENGINEER: PAINTER-LEWIS, P.L.C. Consulting Engineers 817 CEDAR CREEK GRADE, SUITE 120 WINCHESTER, VA. 22601 (540) 662-5792	PROJECT: ASBURY CHURCH 105 NORTH JAY STREET MIDDLEBURG, VA 20118	SCALE: AS NOTED
		PLATE: ELEVATION 1



EXISTING CHURCH: SIDEWALL ELEVATION (NORTH)

EXTERIOR ELEVATION NOTES:
— INSTALL A NEW WINDOW HEADER, IF NEEDED. ENSURE THAT THE WINDOWS ARE SECURE TO PROTECT THE WINDOW UNITS. ENSURE THAT ALL WINDOWS ARE FUNCTIONING PROPERLY. (TYPICAL OF ALL).
— REMOVE ALL VEGETATION AND PREVENT FUTURE GROWTH.
— REMOVE AND REPLACE THE STUCCO FINISHES, AS NEEDED. REPAIR AND REPLACE ANY LOOSE OR MISSING STONES IN THE WALL SECTIONS.

— RE-GRADE ALONG THE WALLS TO ENSURE THAT THERE IS POSITIVE DRAINAGE AWAY FROM THE CHURCH. SECURE THE BOTTOM OF THE WALL TO PREVENT WATER INFILTRATION.

TITLE: EXISTING CHURCH: NORTH SIDEWALL ELEVATION		DATE: 06-01-23
ENGINEER: PAINTER-LEWIS, P.L.C. Consulting Engineers 817 CEDAR CREEK GRADE, SUITE 120 WINCHESTER, VA. 22601 (540) 662-5792	PROJECT: ASBURY CHURCH 105 NORTH JAY STREET MIDDLEBURG, VA 20118	SCALE: AS NOTED
		PLATE: ELEVATION 2



EXTERIOR ELEVATIONS NOTES:

- RESTORE EX. WINDOW OPENINGS, AS DIRECTED BY THE TOWN OF MIDDLEBURG, VIRGINIA. INSTALL A NEW WINDOW HEADER, IF NEEDED. ENSURE THAT THE WINDOWS ARE SECURE AND RESTORE THE FRAMES AND SASHES, AS NEEDED, TO PROTECT THE WINDOW UNITS AND ENSURE THAT THEY FUNCTION PROPERLY. (TYPICAL OF ALL).
- REMOVE ALL VEGETATION AND PREVENT FUTURE GROWTH.
- REMOVE AND REPLACE THE STUCCO FINISHES, AS NEEDED. REPAIR AND REPLACE ANY LOOSE OR MISSING STONES IN THE WALL SECTIONS.
- RE-GRADE ALONG THE WALLS TO ENSURE THAT THERE IS POSITIVE DRAINAGE AWAY FROM THE CHURCH. SECURE THE BOTTOM OF THE WALL TO PREVENT WATER INFILTRATION.

EX. CHURCH: PARTIAL REAR ELEVATION (EAST)



EX. CHURCH: PARTIAL REAR ELEVATION (EAST)

EXISTING CHURCH: REAR WALL ELEVATION (PARTIAL)

TITLE:

ENGINEER:

PAINTER-LEWIS, P.L.C. Consulting Engineers
817 CEDAR CREEK GRADE, SUITE 120
WINCHESTER, VA. 22601 (540) 662-5792

PROJECT:

ASBURY CHURCH
105 NORTH JAY STREET
MIDDLEBURG, VA 20118

DATE: 06-01-23

SCALE: AS NOTED

PLATE: ELEVATION 3

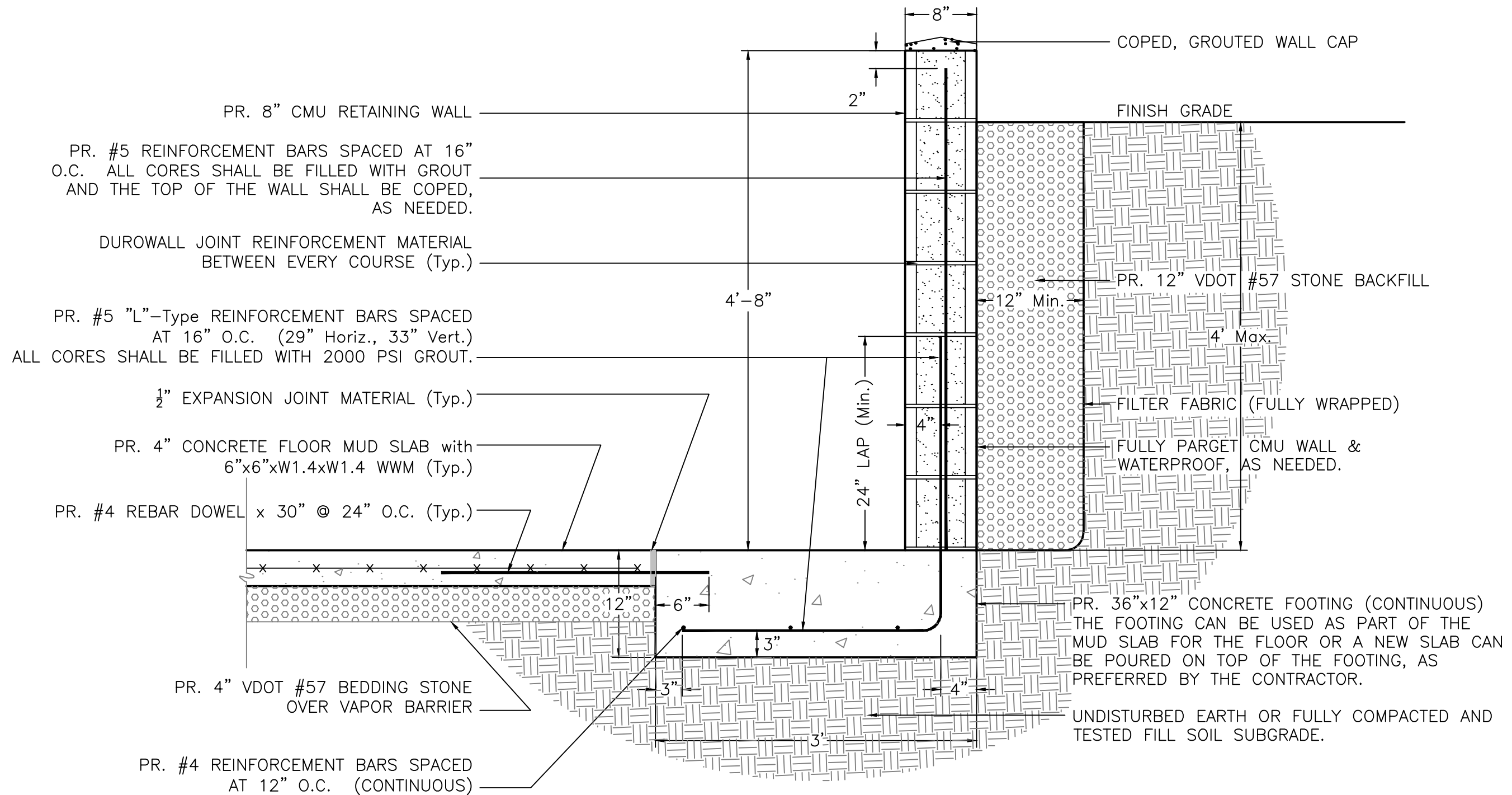
P-L PROJECT NO.: 2212009



EXTERIOR ELEVATIONS NOTES:

- REMOVE AND REINSTALL THE EXISTING CELLAR DOOR WITH A NEW, SPECIAL ORDER, FIBERGLAS DOOR ASSEMBLY TO MATCH THE EXISTING DOOR.
- REMOVE ALL VEGETATION AND PREVENT FUTURE GROWTH.
- REMOVE AND REPLACE THE STUCCO FINISHES, AS NEEDED. REPAIR AND REPLACE ANY LOOSE OR MISSING STONES IN THE WALL SECTIONS.
- RE-GRADE ALONG THE WALLS TO ENSURE THAT THERE IS POSITIVE DRAINAGE AWAY FROM THE CHURCH. SECURE THE BOTTOM OF THE WALL TO PREVENT WATER INFILTRATION.
- REMOVE THE EXISTING UNDERGROUND TANK, REMOVE ALL CONTAMINATED MATERIALS, AND DISPOSE OF THEM PROPERLY OFFSITE. RE-GRADE THIS AREA, AS NEEDED, TO PROMOTE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE.

TITLE: EXISTING CHURCH: SIDEWALL ELEVATION (SOUTH)		DATE: 06-01-23	SCALE: AS NOTED	PLATE: ELEVATION 4
ENGINEER: PAINTER-LEWIS, P.L.C. Consulting Engineers 817 CEDAR CREEK GRADE, SUITE 120 WINCHESTER, VA. 22601 (540) 662-5792		PROJECT: ASBURY CHURCH 105 NORTH JAY STREET MIDDLEBURG, VA 20118		

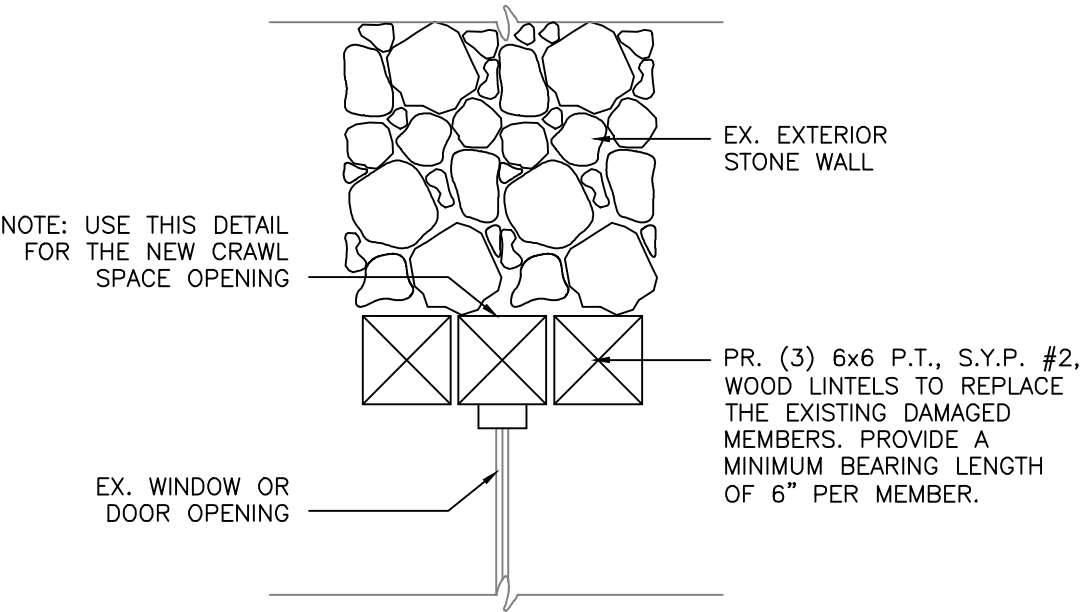


CELLAR AREA: "L"-WALL RETAINING WALL DETAIL

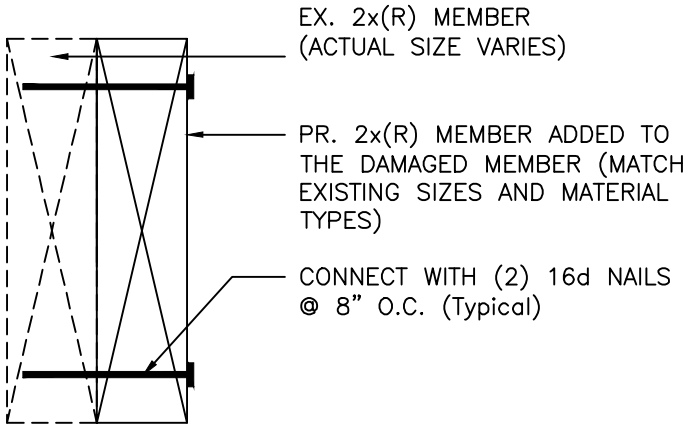
PROJECT:

DATE: 06-01-23

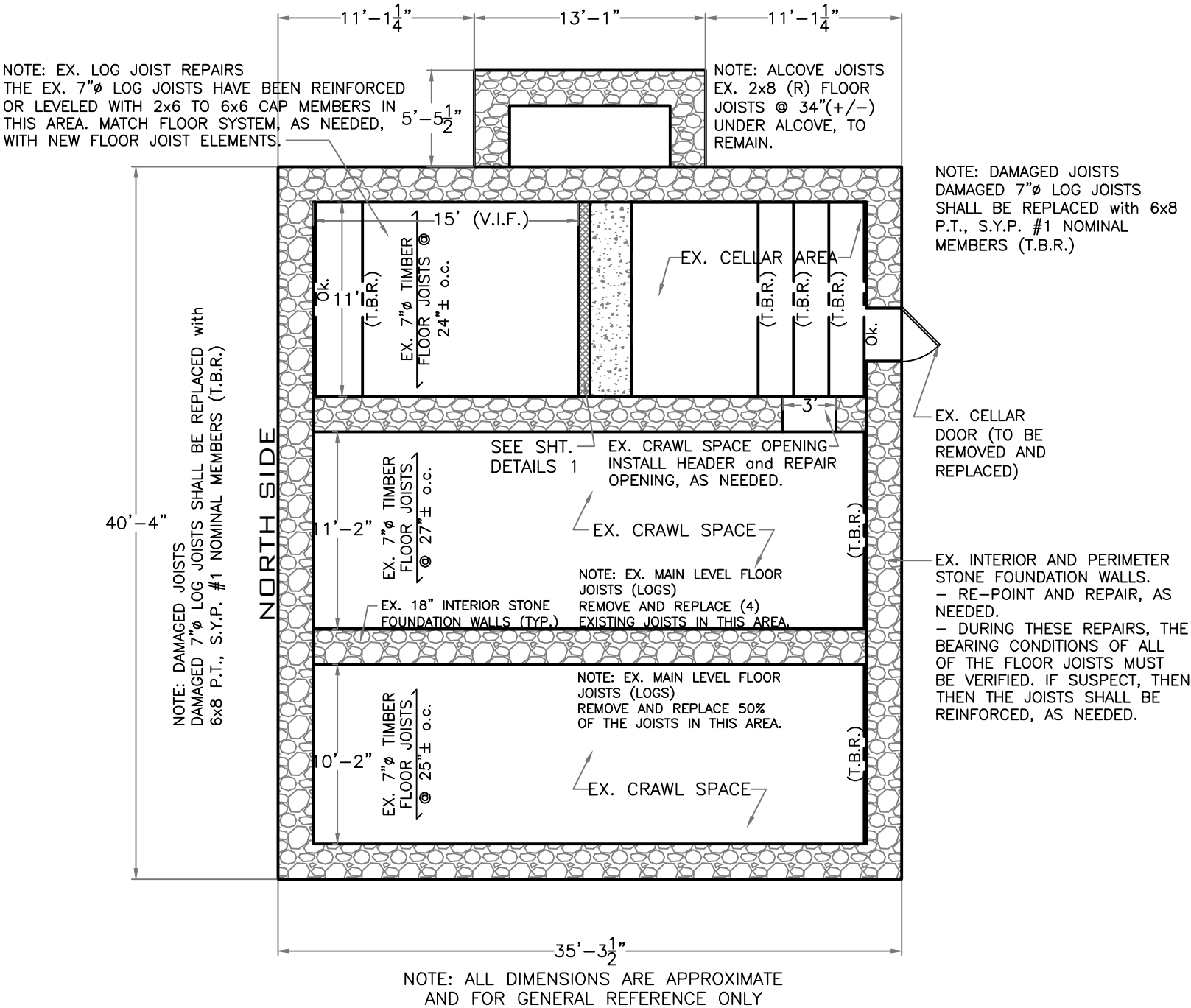
PLATE: DETAIL 1



EXTERIOR STONE WALL
WINDOW/DOOR LINTEL
REPLACEMENT DETAIL
Scale: 1" = 1'-0"



TYPICAL DAMAGED MEMBER
REINFORCEMENT DETAIL
Scale: 3" = 1'-0"



FOUNDATION & MAIN LEVEL
FRAMING PLAN

TITLE: STRUCTURAL ELEMENTS: REPAIR AND REINFORCEMENT DETAILS

ENGINEER: PAINTER-LEWIS, P.L.C. Consulting Engineers 817 CEDAR CREEK GRADE, SUITE 120 WINCHESTER, VA. 22601 (540) 662-5792	PROJECT: ASBURY CHURCH 105 NORTH JAY STREET MIDDLEBURG, VA 20118		
	DATE: 04-18-16	SCALE: AS NOTED	PLATE: DETAIL 2